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Introduction

The appearance of the city's main corridor sends a strong message to potential businesses and residents, as well as to people who regularly travel through the city. The current image is a haphazard strip of individual heavy commercial uses on the west side and random retail and office uses on the east, anchored on both ends by auto-oriented shopping centers built in the 1960's. The existing development pattern lacks a sense of place; people can travel through the city not realizing they are in Edgewood and without the desire to patronize the businesses.

This document presents a tool to improve the corridor's appearance, a tool designed to transform the City into one of the great places of Central Florida. This transformation will lead to increased property values and a higher quality of life for residents, business owners, as well as visitors.

Community Master Plan

The city's desire to improve the Orange Avenue corridor dates back to at least the year 2000 when the city contracted with Glatting Jackson to analyze and make recommendations for improving the Orange Avenue corridor. Glatting Jackson created and presented two reports to City Council: "Main Street Corridor Study/Master Plan Project (2000)" and "The City of Edgewood Community Master Plan (2001)." The plan was never implemented.

The City of Edgewood Community Master Plan



Prepared For:
The City of Edgewood

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Adopted February 26, 2001

Evaluation and Appraisal Report

Seven years later, the evaluation and appraisal of the City's comprehensive plan identified Orange Avenue redevelopment as the primary growth management issue facing the city. Specifically, the Evaluation and Appraisal report (EAR) identified the need to *"Transform the industrial and heavy commercial uses along Orange Avenue into professional employment opportunities, neighborhood services and shopping, and restaurants."*

The "Evaluation and Appraisal" of the comprehensive plan was not only a staff review, but also included bi-weekly workshops and public hearings with the Planning and Zoning Board (P&Z). It was through this public input that the desired direction of the city's future was re-validated. As quoted from the EAR, *"Encouraging beautification and creating a sense of identity through redevelopment will be the focus of the [comprehensive] plan update."*

As also stated in the EAR, *"Redevelopment provides an opportunity to encourage and attract preferred land use, encourage the beautification of the city's 'main street' (Orange Avenue), and create a sense of identity for the City."* A specific recommendation of the EAR addressed the opinion that Orange Avenue *"does not reflect the pleasant experience typical of main streets."* That recommendation was to *"Transform the industrial and heavy commercial uses along Orange Avenue into professional employment opportunities, neighborhood services and shopping, and restaurants."* The P&Z on May 12, 2008 made a formal recommendation to City Council to adopt the EAR. City Council adopted the EAR at a May 27, 2008 public hearing.

Comprehensive Plan Update

Five years later (2013), the city updated the comprehensive plan, which added policies to achieve the overall vision of creating Edgewood as a remarkable place. These new policies include the following.

- *The City shall undertake efforts to amend where necessary the existing ordinance and regulations to bring them into consistency with the adopted Comprehensive Plan and adopted Future Land Use Map Series (Future Land Use Policy 1.1.2).*
- *The City shall establish development standards for new development that maintain the overall character of the community and ensure architectural design and site planning efforts produce development that is compatible and attractive to surrounding uses (Future Land Use Policy 1.1.4)*
- *The City shall periodically review and update its policies, land use regulations, and other efforts to ensure the City's land use program is responsive to the community's character, changes in state and federal regulatory environment, as well as market and business needs (Future Land Use Policy 1.1.5).*
- *The City shall encourage a mixed-use development pattern along the Orange Avenue corridor to promote infill and redevelopment, while also promoting a reduction in vehicle trips and promoting mobility. Implementation of this development strategy includes allowing a nonresidential floor area ratio (FAR) up to 1.0 and a residential density between 7 and 25 dwelling units per acre on parcels that front a principal arterial. In addition, land development code revisions are to be made to address design standards including regulating massing and scale of buildings for land use compatibility and requiring architectural detail and design elements on all sides of the building so that there are no blank walls on the exterior, there is a variety of rooflines, an increase in windows, and visual relief through*

changes in building material, as well as horizontal and vertical changes in the building facades (Future Land Use Policy 1.1.6).

- *The City's land development regulations shall implement mixed-use development in the Commercial Future Land Use category, including a provision for a "permitted use" development option meeting certain established performance standards (Future Land Use Policy 1.1.7).*

Urban Land Institute

In 2014, City Council commissioned an Urban Land Institute (ULI) study to provide a recommendation on the next steps to achieve the vision. As stated in the ULI report,

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“the city should create a series of development design guidelines to help articulate the vision plan and set in motion redevelopment of current land holdings, corridors, streetscapes or public lands in a cohesive urban design framework.” The ULI report recommends adopting new development standards that lead to land being used in the most effective manner to benefit the property values of both the commercial and residential properties of the city.

October, 2014
Edgewood, Florida

Urban Land Institute
Central Florida

MetroPlan

In 2017, the Metropolitan Planning Organization (MPO) completed an Orange Avenue transportation study. In addition to a recommendation for reconfiguring the lanes on Orange Avenue, the study recommended changes to development design standards to promote revitalization of the land use along the corridor and a change from auto-oriented to multimodal transportation through and near the corridor. The recommended design guidelines included strategies to improve walking, biking, and transit options, not only for improved mobility, but also for air quality benefits.



Little/LandDesign

Most recently, in late 2017, the city contracted with Little/LandDesign to assist city staff, its residents, and its business owners in re-validating the vision for the Orange Avenue

corridor. A two-part strategy was established to collect input on the desired vision. The first part solicited the input of the residents and business owners through the participation of a city-wide online and physical mailer survey. The second part was a public Visioning Charette, which included the creation of an illustration identifying land use opportunities for the future.

The survey showed the desire for three conditions:

- More landscaping along the corridor and gateway treatments;
- An increase of active/people-oriented commercial (such as retail shops, dining and entertainment), rather than the existing heavy commercial uses; and
- An increase in the effectiveness of alternative forms of transportation, including an interconnected network of sidewalks and bike lanes, and establishing a commuter rail station in the city.

Five goals can be generated from this recent work effort to guide the development of the new Edgewood Central District as follows.

- Exhibit civic pride
- Improve property values
- Provide residents with more choices for active commercial, such as specialty retail, dining, and entertainment
- Enliven the community by designing developments that create a buzz of activity; that are great places having a variety of shops, dining and entertainment, or some critical mass that attracts people and where indoor activity spills toward the street.
- Improve existing traffic conditions along the Orange Avenue corridor by encouraging other forms of transportation and mixed use development design

Final Thoughts

It is important to realize the city must be an active participant in achieving the desired vision. The creation of a new zoning district, the Edgewood Central District as presented herein, is one tool the city can use to transform the development along the corridor into one of the great places in Central Florida. Achieving the vision will create a positive community identity and character that will be deeply felt by local residents, businesses, visitors, and passersby.

"If you plan cities for cars and traffic, you get cars and traffic. If you plan for people and places, you get people and places."

- Fred Kent, Project for Public Spaces

Intent and Purpose

The underlying purpose in creating this new zoning district centers on the public health, safety and general welfare of the residents, business owners, and visitors to the city. In order to achieve the highest standard of public health, safety and general welfare, the creation of this district intends to:

- *Provide a reliable development framework for public and private development decision making that will lead to the desired land use character and improve property values;*
- *Encourage redevelopment or reuse of the underutilized or poorly maintained properties, recognizing Edgewood's advantage of accessibility to downtown Orlando, the airport, the tourist area, and existing infrastructure;*
- *Create a sense of civic pride by establishing good order and appearance through establishing uniform landscape, building placement, and design guidelines;*
- *Recognize that the largest "open space" within the city is the Orange Avenue right-of-way and the need to make this open space compatible with humans in addition to vehicles;*
- *Protect the stability of the existing residential neighborhoods through design guidelines and only allowing uses which are compatible with the intended neighborhood character;*
- *Enliven the community by the requiring development designed to the human scale;*
- *Improve transportation efficiency in the city by encouraging alternative modes of transportation, the creation of new travel patterns and live/work/play communities, and the consolidation of vehicle access points along the major roads; and,*
- *Making Edgewood a walkable community through the mix of uses and design to create interest in walking, protecting pedestrians through design guidelines.*

The district is intended to establish a land use pattern that was recommended by the noted studies: creation of activity nodes, where the primary focus is a high energy mix of live/work/play uses, around well designed public spaces, connected by corridors of new employment and multi-unit residential buildings at an intensity less than the activity nodes. The parcel configuration along the Orange Avenue corridor is well suited for this land use pattern, with the current shopping centers (Fort Gatlin, Water's Edge, and

Edgewood Isle) candidates for the activity nodes given that their depth and area is sufficient to accommodate a significant redevelopment effort, and the more shallow depth and individual ownership of parcels along the east and west sides of the corridor for the less intense uses. Assemblages of parcels on the west side of the corridor and a future commuter rail station location also have the potential for activity nodes.

The development standards for both the activity nodes and the business/residential corridor are intended to foster Edgewood's identity as a "great place." Making a "great place" is not the same as constructing a building, designing a plaza, or developing a commercial zone. It is a cohesive plan designed to serve people, with development at a human scale, with attention to function as well as form.

Applicability

The new Edgewood Central district is intended to apply to all properties that have frontage on or access to Orange Avenue, Hansel Avenue, or Hoffner Avenue. The regulations apply to both new development and redevelopment activities along the corridor.

New Development

All new development shall fully comply with the regulations contained herein.

Expanding or Modifying Existing Development

The intention of the new zoning district is to achieve the vision. Therefore, expansion of existing non-compliant buildings and their ancillary uses shall fully conform to the regulations contained herein. The lawful use of any building, structure or land existing at the time of adoption of this regulation may be continued.

Interior Building Alterations

Interior building alteration to an existing non-compliant building shall not be subject to the building design and location requirements of this District; however compliance with parking, driveway, and cross access easements standards will be required if such alterations are for a change of use requiring additional parking or loading as required by other chapters of the code. Conformance with design standards for specific uses as identified in the use table shall be required.

Change in Use

A change in use to one of the permitted uses in the District without any modification to the building shall not be subject to the building design and location requirements of this District; however, compliance with parking, driveway, and cross access easement will be required if the new user requires additional parking or loading as required by other Chapters of the code. Conformance with design standards for specific uses as identified in the use table shall be required.

Uses Permitted

The list of permitted uses by right or special exception in the new district was established to meet the following objectives:

- *To permit businesses that are resident oriented, i.e., a mix of neighborhood shopping, service, and family entertainment establishments,*
- *To permit places of employment that are compatible with and complement the residential character of Edgewood,*
- *To encourage an on-site mix of the intended non-residential with residential uses, and*
- *To prohibit businesses that have the need for outdoor storage of merchandise or need for large expanses of onsite fleet parking.*

Most uses are permitted by right; others are permitted by right conditioned upon specific design standards. Those that are listed as a special exception are uses that require public input to ensure their compatibility with the vision and objectives of the district, including those uses that may have intense traffic generation at specific times.

Edgewood Central District Uses Permitted		
		P= Permitted
		S= Special Exception
		-- = Not Permitted
	*Any outdoor storage of company vehicles is limited by specific design standards contained herein regardless if not denoted in table.	
Neighborhood Shopping (Retail)		
	Automotive Parts and Accessories Stores, retail (excluding service and installation, and excluding tire dealers)	P
	Automotive Repair and Services	--
	Baked Goods Store, retail	P
	Beer, Wine, and Liquor, retail	P
	Boat and other motorized water craft dealers, Used	--
	Boat and other motorized water craft dealers, New	--
	Book Stores (New and Used)	P
	Building Materials/Home/Hardware Center, Retail only (outside storage or	P

	display allowed only when consistent with design standards stated herein)	
	Clothing, Shoes, Accessories (New and Consignment) Stores in retail and Consignment Shops	P
	Clothing, Shoes, Accessories, home goods in Consignment Shops	P
	Clothing, Shoes, Accessories, home goods stores in Thrift Shop	--
	Confectionary and/or Nut Stores	P
	Convenience Stores with gas pumps	--
	Convenience Stores without gas pumps	P
	Cosmetics, Beauty Supplies, and Perfume Stores, retail	P
	Electronics Stores	P
	Fish and Seafood Market, retail	P
	Flea market, outdoor	--
	Floor Covering Stores, retail	P
	Florists, retail	P
	Food, specialty stores, retail	P
	Fruit and Vegetable Market retail, Indoor	P
	Fuel Dealers (heating oil, liquefied petroleum (LP) gas, and other fuels)	--
	Furniture Stores, retail	P
	Garden Center ¹	P
	Gasoline Stations	--
	Gift, Novelty and Souvenir Stores, retail	P
	Hardware Stores, retail ¹	P
	Health, Beauty, and Personal Care Stores (can include pharmacy, optician)	P
	Hobby, Toy, and Game Stores	P
	Home Furnishing Stores	P
	Household Appliance (New) Stores	P
	Jewelry Stores	P
	Luggage and Leather Goods Stores	P
	Meat Market, retail	P
	Marijuana, Non-medical sales	--
	Musical Instrument (sales, rental, service) and Supplies Stores	P
	Office Supplies and Stationery Stores	P
	Optical Goods Stores	P
	Outside Home Equipment merchandise, within enclosed building	P
	Paint and Wallpaper Stores	P
	Pet Supplies Stores	P
	Pharmacies, except marijuana; drive up window subject to design standards	P
	Sewing/Needlework, Fabric, Craft Stores	P

	Seasonal holiday sales (e.g., Christmas trees, Halloween pumpkins, Independence Day fireworks)	--
	Specialty Food Stores	P
	Sporting Goods Stores	P
	Supermarket and Other Grocery Stores,	P
	Tire Dealers	--
	Tobacco and E-cigarettes/vape Shops	--
	Vehicle, Car, Motorcycle, ATV, and All Other Motor Vehicles, Dealers, New or used	--
	Recreational Vehicle Dealers including boat and other water craft, New or Used	--
	Warehouse Clubs	P
	Window Treatment Stores	P
Neighborhood Services		
	Car/Automotive Washing/Detailing, full service only ¹	P
	Banking, Commercial, does not include alternative financing services, drive up facility subject to design standards	P
	Banking, Credit Unions, drive up facility subject to design standards	P
	Banking, Savings Institutions, drive up facility subject to design standards	P
	Bar	P
	Barber Shop	P
	Beauty Salon	P
	Carpet and Upholstery cleaning	--
	Civic and Social Organizations	P
	Consumer Convenience Services, e.g. 24hr ATM/Banking Services, Mailbox/USPS stores; drive up facility subject to design standards	P
	Consumer Repair Services	P
	Convenience Storage, e.g. mini-warehouse	--
	Day care, child and adult	P
	Diet and Weight Reducing Centers	P
	Drop off box for charity goods, stand alone	--
	Exam Preparation and Tutoring	P
	Exterminating and Pest Control Services	--
	Fine Arts Schools	P
	Footwear and leather good repair	P
	Formal Wear and Costume Rental	P
	Funeral Services, excludes crematories	P
	Home garden equipment repair and maintenance	--

	Home appliance repair and maintenance	--
	Landscaping Equipment Storage	--
	Laundry, coin operated	--
	Laundry, dry cleaners (drop off only)	P
	Libraries (public)	P
	Locksmiths	P
	Massage Therapist	P
	Medical Offices	P
	Nail Salon	P
	Optometrist/Optician	P
	Personal Improvement Services	P
	Pet Services, without parking of mobile trucks (e.g. grooming, dog training)	P
	Pet kennels and day care indoor runs only	P
	Pet kennels and day care outdoor runs	S
	Pet, Veterinarian Services	P
	Religious Assembly	S
	Restaurant, snack and nonalcoholic drink bars, including coffee shops	P
	Restaurants, Fast food; drive up windows subject to design standards	P
	Restaurants, Full Service (includes grills, cafeterias, buffets)	P
	Seamstress/Tailor	P
	Shipping, postal, printing and business service centers, retail	P
	Adult Entertainment per Chapter 34, Article V	--
	Art Gallery	P
	Club or Lodge	P
	Community Centers	P
	Dance Instruction	P
	Gambling establishments including casinos and internet cafés	--
	Museums	P
	Parks and Playgrounds	P
	Performing Arts companies	P
	Recreation, Sports and Fitness, indoor	P
	Recreation, Sports and Fitness, outdoor except public parks and playgrounds or facilities accessory to an on-site residential use	--
	Recreational Equipment Maintenance and Storage	--
	Theaters, motion picture/live performance, except drive-ins and adult entertainment	P
	Zoos	--

Edgewood Central District Employment		
Accommodation		
	Hotels with structured or shared parking	P
	Motels	--
	RV parks and campgrounds	--
	Rooming and boarding houses	--
Administration/Business Support		
	Building Maintenance Services	--
	Business services such as copy shops	P
	Carpet and upholstery cleaning services	--
	Court Reporting and Stenotype Services	P
	Employment Placement Agencies except for day labor pool offices	P
	Exterminating and Pest Control Services	--
	Industrial launderers	--
	Landscape equipment storage	--
	Linen Supply	--
	Office Administrative Services	P
	Packaging and labeling Services, Retail	P
	Professional Employer Organizations	P
	Real Estate Training	P
	Security Systems Services	P
	Telemarketing	P
	Telephone Answering Services	P
	Tour Operators, without fleet storage	P
	Travel Agencies	P
Agriculture		
	Agriculture	--
	Cannabis farm	--
Automotive		
	Automotive body, paint, and interior repair and maintenance	--
	Automotive glass replacement	--
	Automotive oil change and lubrication	--
	Automotive Repair and Service	--
	Automotive Sales (new or used)	--
	Automotive washing/detailing ¹ , full service only	P
	Parking lots not incidental to primary use onsite	--
	Wrecker, Towing, and Vehicle Recovery Services	--
	Vehicle Storage	--
Construction		

	Building material storage, non-retail	--
	Construction Equipment Sales and Services	--
	Construction and Remodel Design Office	P
Food Services		
	Caterers (subject to company vehicle conditions)	P
	Vending Machine Operators	--
Education		
	Driving schools for passenger vehicles only, no courses or vehicle fleet	P
	Business, Vocational, Trade schools, including Cosmetology and Barber Schools	S
	Colleges and Universities	S
	Elementary and Secondary Schools	S
Electronic		
	Commercial and industrial machinery and equipment repair and maintenance	--
	Consumer electronics and communication equipment repair and maintenance, retail	P
	Electronics Testing	--
	Heating and A/C Service	--
Finance and Insurance		
	Credit Card Issuing	P
	Mortgage Brokers	P
	Security Brokerage	P
	Investment Advice, including trust, fiduciary and custody activities	P
	Insurance carriers	P
Health Care and Social Service		
	Ambulance services	--
	Assisted living facilities	S
	Blood, cryo, and organ banks (subject to company vehicle conditions contained herein)	P
	Community food services	--
	Continuing Care Retirement Communities	S
	Diagnostic imaging centers	P
	Emergency Relief Services	--
	Freestanding ambulatory surgical and emergency centers	P
	Home health care services, administration only	P
	Hospitals, general medical and surgical	S
	Kidney Dialysis Centers	P
	Medical laboratories	P
	Skilled nursing facilities (24 hour care)	S

	Pain management clinics	--
	Physical, Occupational, Speech therapists and audiologists	P
	Residential Treatment Facility, Inpatient or Outpatient	--
	Social Service offices, administration only	P
	Social Advocacy organizations, administration only	P
	Temporary shelters	--
	Transitional housing	--
	Vocational rehabilitation counseling	P
Information		
	Motion picture and video production	P
	Music publishers	P
	Printing and Publishing	P
	Software development	P
	Sound recording studios	P
	Communication services, indoor, without antennae or satellite dish	P
	Telecommunications towers and facilities consistent with Article VI, Edgewood Code	S
Manufacturing		
	Art workshop	P
	Craft breweries, distilleries, wineries, coffee roasters, must include a retail and/or restaurant component and limited to a maximum of 15,000 gross square feet of building without special exception (Design standards apply)	P
	Artisan food production (e.g., candy, pasta), must include a retail and/or restaurant component	P
	Monument Sales	--
	Re-upholsterer and furniture repair	P
	Other Manufacturing	--
Mining		
	Mining	--
Professional, Scientific and Technical Services		
	Accounting/CPA	P
	Advertising Agencies	P
	Agents and managers for artists, athletes, entertainers	P
	Architectural Services	P
	Building Inspection Services	P
	Computer Systems Design Services	P
	Custom Computer Programming Services	P
	Direct Mail Advertising	P
	Drafting services	P

	Engineering services	P
	Environmental Consulting Services	P
	Graphic Design Services	P
	Human Resources Consulting Services	P
	Industrial Design Services	P
	Interior Design Services	P
	Investigation Services	P
	Land Planning Services	P
	Landscape Architects	P
	Lawyers	P
	Management Consulting Services	P
	Market Research and Public Opinion Polling	P
	Marketing Consulting Services	P
	Media Buying Agencies	P
	Notaries	P
	Photography Studios	P
	Process, Physical Distribution, and Logistics Consulting Services	P
	Promoters of Performing Arts, Sports, and Similar Events without facilities	P
	Public Relations Agencies	P
	Scientific Research Services, indoor only	S
	Surveying and Mapping services	P
	Tax preparation service	P
	Title abstract and settlement offices	P
	Translation and Interpretation Service	P
	Other similar professional offices with Council approval	P
Real Estate Rental and Leasing		
	Property Managers	P
	Real Estate Agents and Brokers	P
	Real Estate Appraisers	P
Merchandise/Equipment Rental and Leasing		
	Construction and industrial machinery and equipment rental and leasing	--
	Consumer Electronics and Appliance Rental	--
	General rental centers	--
	Home equipment rental	--
	Office machinery and equipment rental and leasing	--
	Non-vehicular recreational goods rental	--
	Automotive rental or leasing, all (including but not limited to passenger, truck, utility trailer, recreational vehicles), does not include passenger vehicle rental agency	--

	Passenger vehicle rental agency ¹ – Urban Prototype requires site plan approval	P
Transportation		
	Courier and Express Delivery Service without fleet storage	P
	Electronic/Mail Order Shopping/Order taking	P
	Freight companies, dispatch only no storage of vehicles	P
	Local messenger and local delivery service, no fleet parking	P
	Moving companies, dispatch only no storage of vehicles	P
	Taxi, pedicab, and limo service, dispatch only no storage of vehicles	P
	Vehicle towing	--
	Vehicle storage	--
Warehousing		
	Warehousing and storage (except as allowed with artisan manufacturing and production)	--
	Warehousing, mini/personal storage	--
Waste Collection and Disposal		
	Hazardous Waste Collection	--
	Hazardous Waste treatment and disposal	--
	Materials Recovery facilities	--
	Remediation services	--
	Scrap and Salvage Services	--
	Septic Tank and Portable Toilets Related Services	--
	Solid Waste Collection	--
	Solid waste combustors and incinerators	--
	Solid waste landfill	--
Wholesale trade		
	Micro brewery, craft distillery, micro winery (requires retail component) and limited to a maximum of 15,000 gross square feet of building area, design standards apply. Greater than 15,000 gross square feet building only with special exception.	P
	Art Workshop (requires retail component)	P
	Wholesale Trade except as allowed in Artisan Food/Product Manufacturing	--
Other		
	Adult Establishments as stated in Chapter 34, Article V	--
	Alternative financial services such as	--

	check cashing, payday advance or similar businesses	
	Auction	--
	Bail Bonds Services	--
	Crematory	--
	Day labor pool offices	--
	Manufactured/Mobile Home Dealers	--
	Fortunetelling	--
	Heavy Equipment Sales, Repairs and serving	--
	Pawn Shop services	--
	Tattoo and/or body piercing	--
	Other uses which are similar or compatible to the uses permitted herein, which would promote the intent and purposes of this district; determination made by authority of city council, without public notice or public hearing. Approval may include conditions, restrictions or requirement for Special Exception processing.	P
Edgewood Central District Residential		
	Assisted living facilities	S
	Detention facilities, jails, or other similar uses	--
	Multi-Dwelling Residential Buildings when included as one component of a mixed use master development plan submitted with the application, either horizontal or vertical mix, (minimum 3 uses, e.g., office, retail and residential)	P
	Residential dwellings above first floor non-residential	P
	Multi-Dwelling Residential Buildings (not mixed use)	S
	Single family dwellings (conventional or manufactured)	--
	Homeless, runaway, emergency shelters	--
Edgewood Central District Public/Quasi Public/Government Administration/Infrastructure		
	Government Administration	P
	Cemetery	--
	Community Events	P
	Major Utility Facilities	S
	Postal Facilities, subject to company vehicle conditions	P
	Power Generation and Distribution	S
	Telecommunications towers and facilities	--

Footnotes: ¹Specific design standards apply

Development Standards

The design standards applicable to development in this district are key to achieving the stated goals of the Edgewood Central District.

These design standards are intended to accomplish the following goals:

- *To create a cohesive development pattern along the road;*
- *To transform the Edgewood Central corridor into a public “open space” designed for pedestrians and bicyclists in addition to vehicles;*
- *To create a sense of place that has physical appeal and coordinated functionality, and is safe for pedestrians, in order to protect, promote, and improve public health, safety, comfort, order, convenience, prosperity and general welfare;*
- *To improve mobility along the corridor for vehicles and pedestrians;*
- *To ensure connectivity of uses and travel paths;*
- *To mitigate the appearance of certain uses so as to ensure these uses/buildings are aesthetically integrated, harmonious, and compatible with the surrounding neighborhood and the community; and,*
- *To create economic opportunities for redevelopment and assemblage of parcels.*

These design standards primarily focus on “Lot Standards,” “Building Placement,” “Building Design,” and “Access and Parking” design.

General Lot Standards

Minimum Lot Width

Lots within the district shall have a minimum width of 80 feet, as measured at the property line along the road; for corner lots, the minimum width is increased to 100 feet.

Maximum Impervious Surface

- Outside Activity Node, maximum Impervious Surface Area is 60% of the total lot area, with the segment of a shared driveway, from the connection to Orange/Hansel Avenue to the connection with the adjacent property, excluded from calculation (See Bonus Section).

- Within an Activity Node with urban plaza/park, the maximum Impervious Surface Area of the total lot area is 90%.

Pervious area shall be based on the tested material rating.

Minimum Percent of Lot Width Occupied by Building Façade

Buildings within the front 100 feet portion of the lot, defined as the Road View area, shall meet the following building façade width/lot width ratio. This standard is established to meet the goal of increasing pedestrian activity along the corridor by creating interest in walking as well as help to establish a strong cohesive development pattern in the city.

Lot Width	Minimum % of Lot Width occupied by Building Façade
< 100	50
100 < 150	60
150 +	70

For the purpose of this standard, the following is included in the calculation of Building Façade Width:

- Uncovered recessed courtyards between portions of the building provided the width of the courtyard shall not be more than fifty (50) percent of the total building frontage and the courtyard is paved and enhanced with landscaping;
- Restaurant outdoor seating areas provided that area is less than 30% of the actual building frontage width;
- Pedestrian access ways to rear parking areas, when not adjacent to driveways (i.e., between buildings); and,
- A gallery-type of building with the use of columns to create a covered arcade, with upper stories above the arcade provided a minimum 13 feet ground clearance in the arcade is provided.
- Full height wall recesses up to 4 feet in depth and a maximum of 40 feet in length.

Buildings in the Rear portion of the lot are not subject to the minimum percent lot width occupied by building standard.



Minimum Building Frontage Percentage Applied				
Lot Width (in feet)	Minimum Building Frontage Percentage	Resulting Minimum Building Width (in feet)	Minimum Driveway Width* (in feet)	Left Open for additional driveway or side parking (in feet)
80	50	40	39	1
90	50	45	39	6
100	60	60	39	1
125	60	75	39	11
130	60	78	39	13
135	60	81	39	15
140	60	84	39	17
145	60	87	39	19
150	70	105	39	6
160	70	112	39	9
165	70	115.5	39	10.5
170	70	119	39	12
175	70	122.5	39	13.5
180	70	126	39	15
185	70	129.5	39	16.5
190	70	133	39	18
200	70	140	39	21
250	70	175	39	36
260	70	182	39	39
300	70	210	39	51
400	70	280	39	81
500	70	350	39	111
520	70	364	39	117
550	70	385	39	126

*39'=24' drive aisle+ 2 x (3' of tree lawn and 4' of sidewalks) +2-6" curbs, larger lots may require a wider driveway to accommodate turn lanes, and minimum driveway separation requirements.

Building Placement

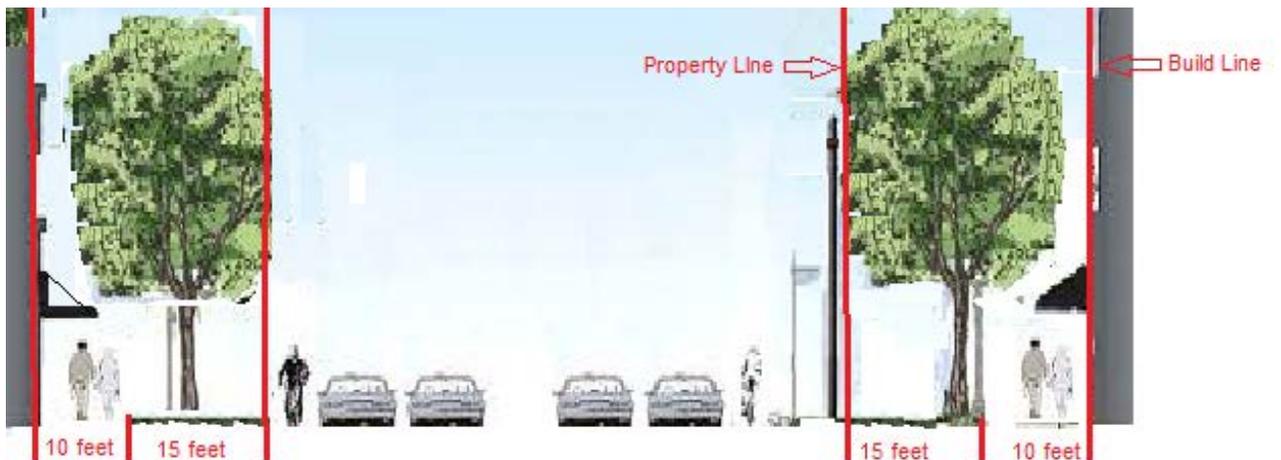
As stated, the development site is divided into two areas: Road View and Rear, with the Road View portion being the front 100 feet of the property and the remainder being the Rear. The goal of building placement standards is to avoid large expanses of paved areas adjacent to the road, instead framing the largest open space area in the city with buildings and green space. In addition, these standards provide for pedestrian safety as well as health benefits.

Building Placement in the Road View Area

Build Line

Buildings in the Road View portion of the site shall be placed at the Build Line, which is 25 feet away from the front property line. Using a Build Line ensures a uniform (or more or less even) building facade line along the street. Exemptions to conformance with the Build Line is upper floors, where the building can be set back further into the lot, and permitted projections into the Pedestrian Path Zone as identified in other sections of this district. A gallery-type of building (using columns to create a covered arcade) with a minimum 13 feet ground clearance in the arcade that is placed at the Build Line shall be interpreted as being consistent with this standard.

Between the Build Line and the front property line shall be two distinct areas: Trees/Furnishings/Sign Area (15 feet) and the Pedestrian Path (10 feet) as shown in the exhibit below.



Tree/Furnishings/Sign Area

The primary intent of this area is to provide aesthetic value and help establish a cohesive community character through the placement of similar evergreen (i.e., trees that have foliage year round), shade trees at regular intervals along the corridor. Furthermore, these trees will provide protection from rain, wind, and sun; reduce heat; reduce harm from tailpipe emission; and help to reduce stormwater runoff.

The following tree has been chosen for this application. This species was selected based on its characteristics and the available spacing for canopy given the overhead utilities existing on the east side of the corridor and the desire to have uniformity on both sides of the road.

Street Trees	Characteristics	Minimum Requirements at planting
Highrise Live Oak <i>Quercus virginiana</i>	Once established, will thrive in almost any location including narrow spaces and sidewalk to street applications, and will grow about 2-4 feet and 1 inch of caliper per year. Semi-evergreen, drought tolerant, and disease and pest resistant Mature Height: 30–40' Mature Spread: 16–25'	≥5" caliper (16-foot tall)



Highrise Live Oak

Alternative species may be approved through the site plan review process provided the tree is of a species that can fulfill the intended design, and at the same time achieve the intended growth and form. Alternating more than two species is strongly discouraged; such will detract from the goal of a recognizable, cohesive development pattern.

Trees shall be planted in a shallow pervious swale (no pervious pavers) comprising at least 100 square feet, that will ensure the capture of rainwater and runoff in order to promote deep root growth, and in accordance with the following location standards.

Street Tree Location Standards (as measured to center of tree)	
On-center spacing*	25 feet
Offset from Sidewalk	Minimum 2'-6"
Offset (Horizontal) from the center of Overhead Wires Utility Pole	Minimum 14'-0"
Offset from Underground Utilities	10'-0"
Offset from Light Poles	15'-0"
Offset from Driveways, Fire Hydrants	10'-0"

*Staff has the ability to modify on-center spacing to allow conformance with the remaining spacing standards.

Tree limbs must be maintained to hang no lower than thirteen (13) feet above any public street, alleyway, driveway, and no less than ten (10) feet over sidewalks.

In addition to street trees, street furnishing and ground signs are permitted in this area, including, but not necessarily limited to, seating, lighting, and bike racks. All street furnishings shall be permanently fixed to the ground through mechanical fasteners or through the use of concrete footings. Unless specifically approved through the site plan review process, all street furnishing shall have black finish. Details for all furnishings, including specifications, installation, colors and material shall be provided as part of the site plan review process.



Any unpaved area in the Tree/Furnishings/Sign Zone shall be planted, at a minimum, with a low-maintenance, drought tolerant ground cover (not sod). Planting of shrubs and other plantings is permitted. If pavement is used in this zone, ADA compliant

pervious pavers are to be used to promote the survival of the trees and other landscaping within this area.

Pedestrian lighting is required to be placed every 50 feet on center. Developers shall work with local energy provider to obtain a street lamp that is Dark Sky compliant, i.e., a fixture designed to reduce the amount of light pollution by emitting no light above the horizontal plane ("90°" line) above the luminaire. The intent is to have the same lamp throughout the District similar to the example pictured below.



Unfenced stormwater management is allowed to be aesthetically incorporated into the Tree/Furnishings/Sign zone upon approval of the design by staff. Further, the design shall demonstrate that there will be no adverse impacts to the street trees or pedestrians.

It shall be the property owners' responsibility to ensure proper maintenance and viability of the street furnishing/trees within this area.

Signs shall be in conformance with City Code.

Pedestrian Path Zone

The Pedestrian Path zone is the area between the Tree/Furnishings/Sign Area and the Build Line. This area contains the public sidewalk, setback on the private property to improve the safety of pedestrian, wheelchair users, and the like by increasing the distance from road curb and avoiding any cross slope changes caused by driveway aprons. This location will also serve to avoid pedestrian disruption if utilities in the adjacent right-of-way need repair.

The sidewalk width shall be ten (10) feet and connect with the sidewalk on adjacent property. If the adjacent parcel has yet to (re)develop in accordance with this district, transition between the sidewalk in the Pedestrian Path Zone and existing off-site sidewalk will be required. For consistency throughout the district, the sidewalk surface shall be natural colored cement constructed in accordance with Section 126-398 of the city's code. The sidewalk's location is allowed to meander into the Tree/Furnishings/

Sign area to allow for outdoor cafes/seating and landscaping adjacent to the building provided there is no detrimental impact to the trees' viability.

To ensure safe and continuous pedestrian access along the corridor, the property owner shall dedicate and record in Orange County Official Records a non-exclusive pedestrian easement over the Pedestrian Path. It shall be the property owners' responsibility to ensure proper maintenance of the sidewalks.

Since the preferred pedestrian path is within the Pedestrian Path Zone and not within the right-of-way, once the sidewalk within the Pedestrian Path Zone is constructed, the city shall work with FDOT to remove the existing sidewalk in the right-of-way and replace it with low maintenance, drought tolerant ground cover similar to that provided in the Tree/Furnishings/Sign zone.

In addition to the sidewalk, the following is allowed within the Pedestrian Path Zone.

- Building mounted and/or cantilevered architectural building elements such as awnings and canopies meeting the following requirements:
 - ✚ Hung 13 to 15 feet above the adjacent sidewalk grade
 - ✚ Extending two to eight feet from the wall
 - ✚ A clear height distance of at least 80 inches, as required by accessibility standards
- Bay windows not extending greater than 18 inches from the building wall, with a maximum width of eight (8) feet;
- Articulated wall projections of a minimum depth of 8 inches and maximum depth of 1.5 feet and maximum four (4) feet in length;
- Attached Signs, per code, and daily signage provided such does not block or impede pedestrian traffic or be placed outside the Store Front zone.

Rear Building Alternative

A developer has the option to build only in the Rear portion of the site, if lot depth permits such a layout and only by City Council site plan approval, with recommendation from the P&Z. Such approval shall be conditioned on submission of a detailed site plan that demonstrates the intent and goals of the district have been met, including, but not necessarily limited to, the Road View portion of the site is maintained as a public open space amenity.



The building must be set back at least 100 feet from the front property line (beyond the designated Road View portion) and conformance with the required Pedestrian Path and Tree/Furnishings/Sign Zones is required to be provided along the street right-of-way as if a development was planned in the Road View portion.



In no case, shall the Road View portion of the property be used for stormwater management (except an exfiltration system) or parking unless building placement is within the Road View portion of the site and developed in accordance with this district's requirements.

Building Placement Applicable to All Development

Regardless of location in the Road View or Rear portions of the site, the following applies.

Minimum Rear Yard/Rear Building Setback Width and Use

Buildings shall be setback a minimum of 30 feet from the rear property line creating a rear yard. As was recommended by the MPO Orange Avenue study, the Rear Building Setback shall be used for the cross access easement required by Section 134-142 of the city code on the following properties:

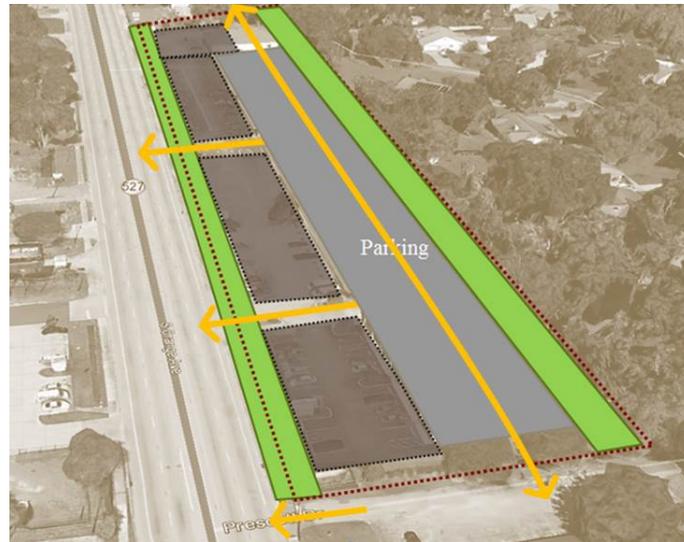
- Properties located along the west side of Orange Avenue between Holden Avenue and Stratemeyer Drive, and
- Properties located on the east side of Orange Avenue, between Lake Jennie Jewel and Lake Conway Drive.

Achievement of cross access on properties outside the above identified areas will be reviewed during the site development approval process.

The cross access easement shall include two, 11 feet wide lanes and a 5 feet wide pervious strip placed abutting the rear property line, with the pervious strip along the property line.



West Side Designated Parcels



East Side Designated Parcels

Minimum Side Yard/Building Setback Width and Use

Side yards in this district are envisioned to be used for access, parking, and linear/swale stormwater management. The minimum building setback is zero unless adjacent to a single family residential district or abutting a side street. If zero setback is used, a plan for side building maintenance shall be presented with the development application. Furthermore, if zero setback is used, roof slopes shall be away from the zero setback property line to avoid a negative impact to the abutting property.

Coordinated stormwater management, e.g., side yards of adjacent property combined for a drainage swale, is encouraged.

Side yards abutting a single family residential district shall be a minimum of 25 feet.

On lots abutting a side street, development shall conform to the Road View site standards: Pedestrian Path and Tree/Furnishings/Sign zones.

Lake Setback

Buildings shall be set back from every natural surface water body a minimum of 50 feet, measured from the normal high water elevation.

Building Design

The intent of these design standards is to avoid long uninterrupted, monolithic appearance of façade planes, thus enhancing the visual appearance of development within the City and creating a human scale building, which in turn encourages pedestrian activity. The façade design is intended to give the appearance of a series of buildings having varied sizes and volumes vs. a single massive structure.

Design of Buildings within the Road View Portion of the Site

Primary Entrance

The façade facing the road shall include a main entrance to the building. This entrance can be placed at an angle not more than 45 degrees to the road if oriented to a road intersection.

Façade Transparency for First Floor

To meet the intent to make Edgewood a walkable community, it is important to create interest along the street. Buildings with transparent windows and doors are viewed as welcoming and enhance walking.

At least sixty (60) percent of the width of the ground floor road frontage façade shall contain clear (transparent) or spectrally selective glazings (minimum VLT of 60%) considered as “non-reflective” glass. This requirement includes doors and windows affording views into the interior areas. Opaque, translucent or reflective glass cannot be counted towards the transparency ratio. Windows shall not be covered during opening hours of the business to encourage pedestrian interest.

Window placement shall be incorporated into the building façade to create a horizontal and/or vertical rhythm.

The windows are encouraged to be full height of the ground floor, but in no instance shall the sill be more than three feet (3) feet above the adjacent sidewalk grade, with the window height extending to at least the top height of the primary entrance door. Windows shall be a minimum of two (2) feet in width.



Maximum 3 feet sill height allowable limit



Greater than 3 feet sill height not allowed

Facade Horizontal Variation

For visual interest and to avoid a flat, first floor building appearance, a building facade design shall vary at least every 40 feet horizontally by incorporating two or more of the following techniques.

- Articulated wall projections of a minimum depth of 8 inches and a maximum depth of 1.5 feet and maximum four (4) feet in length, for the full height of the building. Such wall projection is allowed to extend into the Pedestrian Path zone.



- A full height material change; e.g., stucco to brick with varying roof heights (paint color is not considered a material change).



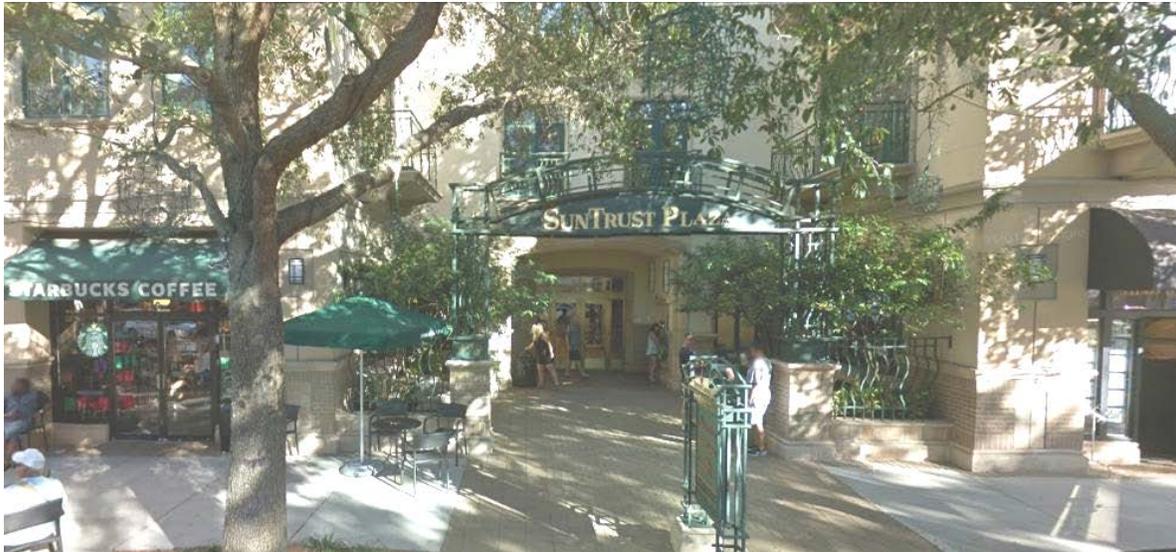
- Full height wall recesses of up to four (4) feet in depth, and maximum forty (40) feet in length with varying roof heights.



- Non-continuous cantilevered window treatments every 40 feet, occupying 50-70% of the building's length, placed 13-15 feet above the adjacent sidewalk grade, with a minimum 8 feet clear height.



- Uncovered recessed courtyards between portions of the building, provided that the width of such courtyards shall not be more than 50% of the total building frontage and that the courtyard is paved and enhanced with landscaping.



Building Height Design

To ensure a cohesive, modern appearance along the corridor, the minimum building height shall be 20 feet, as measured from sidewalk to top of the front elevation wall (decorative embellishments excluded). For multi-story buildings, except for stand-alone residential uses, the finished first floor shall have a minimum 13 feet clear height and at least 8 feet clear height for every story above the first.

Maximum building height shall be as follows.

- Outside an Activity Node - 4 stories/55 feet unless within 100 feet of a single family zoning district, then 3 stories/45 feet
- Inside an Activity Node - 6 stories/75 feet

(See Decorative Embellishments for additional allowable building height).



Buildings less than 20 feet in height are prohibited in the district.

Facade Vertical Variation

A building height greater than 20 feet, regardless of the number of stories, shall include a 3-dimensional horizontal change at least 12 inches in height across at least 75% of the building, placed between 13 to 15 feet above ground to ensure a human scale, e.g., a material or texture change, or a building offset (building step back or step forward). The use of banding (continuous horizontal stripes) across large areas of the facade is prohibited.

An alternative to this standard is a building mounted and/or cantilevered architectural building element such as awnings and canopies meeting the following requirements:

- Hung 13 to 15 feet above the adjacent sidewalk grade,
- Extending two to eight feet from the wall,
- A clear height distance of at least 80 inches, as required by accessibility standards, and
- Occupying a total of 50-70 percent of the length of the building facade.



100 feet wide facade divided into 20 feet wide portions, 70% glass, maximum 4 feet blank walls. Roof line height altered ± 20 feet, 3+ feet step outs at ± 40 foot intervals, vertical break with awnings placed at 15 feet height



80 feet wide total facade, stepped forward about 5 feet for the eastern 30 feet, includes a vertical change (paint, offset, and awning) about 15 feet above grade; the blank 30 feet allows an area for signage

Decorative Elements

Decorative architectural appendages, embellishments and other architectural features are required for all development and may be permitted to exceed the maximum heights on a limited basis. Up to eight (8) feet of additional height is possible for such appendages upon approval of the City Council, provided such appendages are no more than fifty (50) percent of the building roof length and based on a finding that said features are compatible with adjacent development. Such appendages and architectural embellishments shall be strategically located to draw customers to the primary entrance of the building and or highlight pedestrian passages between buildings.



Rooflines

Roof lines shall be varied with a change in height of not less than five feet at least every 80 linear feet in building length. A 3-dimensional cornice, at least two and one half (2.5) feet in height above the roof, or as needed to conceal mechanical equipment (whichever is taller), shall be used along all flat roofs (less than 3:12 pitch) or parapet roof portions. Sloped building roofs shall have a minimum two feet overhang and include a gutter/downspout system. This roof overhang can extend into the Pedestrian Path Zone.



Blank Wall Design

Blank walls facing a street that are 10 feet in length or greater shall incorporate one or more of the following design treatments so as to eliminate blank walls more than 10 feet in length.

- Design Treatment 1: Evergreen vine wall (trellis or wire/vine system) of at least 5 feet in width, contained within a 3 feet minimum width planting bed, in front of the wall, at least 13 feet high placed every 10 feet on center along length of the blank wall surface, with each bed irrigated and planted with climbing vines sufficient to cover the trellis within three (3) years;
- Design Treatment 2: Small trees of at least 16 feet in height at maturity, planted at a rate of one (1) tree for each 15 feet (or part thereof) of blank wall (minimum one tree), with tree height of at least five feet at planting, planted at least three (3) feet away from the wall, within a planting bed of at least eight feet in width; plus, a hedge of plants the length of the wall that creates a depth of at least five (5) feet and maintained at a height at least three (3) feet in height;
- Design Treatment 3: Variety or decorative masonry pattern of at least two (2) types of materials, color, texture, or architectural feature (such as accents and relief elements), of which the contiguous surface length equals at least 50% of the blank wall surface area; and
- Design Treatment 4: Wall signage of at least six (6) feet in length and four feet in height, limited by total sign area allowed by City code.

In no case shall a blank wall with these treatments exceed 40 feet in length. A blank wall area means a portion of the exterior facade of the building that does not include windows or doors; or columns, pilasters or other articulation greater than 18 inches in depth). The Blank Wall standard applies to first and upper stories of street-facing facades.



Secondary Facades

Secondary façades, facades not facing a street, but within public view, e.g., facing a customer parking lot or driveway, shall be of finished quality, color, and materials that blend with the remainder of road frontage façade. Major architectural treatments on the road frontage building façade, such as cornices, window treatments, and repeating details, shall be continued around all sides of the building that will be visible to the public.

The same standards for blank walls facing a street shall apply to other sides of the building if those sides face a vehicular use area (other than loading area).

Sidewalks

In addition to the Pedestrian Path, a continuous minimum 8 feet wide sidewalk shall be provided adjacent to the building where the building faces parking.

Design of Buildings outside the Road View Portion of the Site

Buildings outside the Road View portion of the site shall meet the same design standards for buildings in the Road View portion of the site with the exception of façade transparency standard, which for the Road View portion of the site is a minimum of thirty (30) percent of the front façade of buildings. In the design of the building to meet the Blank Wall standard, walls are encouraged to be creatively designed to create an illusion of transparency.



Other Design Standards

Stormwater Management

Developers are strongly encouraged to create/connect to a shared stormwater system rather than providing individual on-site facilities. Until such time as a shared system is available, development is subject to the following requirements.

- Stormwater management shall be incorporated into the overall design of the project so as to be a creative feature/amenity of the development or incorporated into the landscape irrigation system.
- Except if designed as an exfiltration system, stormwater management shall only be located behind the building in the Road View portion of the site or where aesthetically incorporated into the Tree/Furnishings/Sign zone upon approval of the design by City planning and engineering staff.
- Wherever possible, pond edges should be sloped so as to avoid the necessity of fencing. Where slopes require fencing, only black, ornamental fencing shall be permitted. Fencing of stormwater management systems in the Road View portion of the site is prohibited.
- The use of innovative stormwater management methods is encouraged such as green roofs, bio retention areas such as the use of deep gardens and planters, infiltration, permeable paving in parking stalls, cisterns incorporated into the building architecture with the water reused for landscaping.
- At a minimum, the stormwater management system shall comply with St. Johns River Water Management Standards.

Service Areas

A trash/waste collection area shall be totally screened by walls with an opaque low maintenance gate constructed of and finished with materials and colors which are similar to the materials and colors utilized in the principal building on site. In no case shall the trash collection area be located within 50 feet of a single family residential lot, nor located forward of the rear façade of a Road View building. To the extent possible, the trash collection area shall be incorporated into the primary building design.

Loading areas, satellite dishes, truck parking, and other service support equipment shall be designed so that it cannot be seen from the street and any adjacent single family properties.

Mechanical equipment shall be integrated into the overall mass of a building by screening it behind parapets or by recessing equipment into hips, gables, parapets, walls, or similar features.

Fences

With the exception of decorative railings for outdoor cafes, fences shall not be allowed within the Road View area of the site. Furthermore, fences shall not create a barrier to using the cross access easements nor the connection of the cross access easement to public roads. Maximum height of fences anywhere in the district shall be 48 inches. Decorative railing for outdoor cafes shall not exceed 3 feet in height.

Corner Sight Clearance Triangle

The Corner Triangle, measured as twenty five (25) feet along the road curb in each direction with the outer points connected by a straight line, shall be kept clear of all obstructions, including, but not limited to, trees and street furnishings.

Underground Utility Installation

It is the intent of the city to improve the aesthetic appeal of the city and the reliability of utility service by requiring that utility lines such as electric, telephone, cable TV, fiber optics and other utilities be placed underground in conjunction with the construction of all new buildings, unless it is determined by the City Council that soil, topographical or any other compelling conditions make the installation of such utility lines as prescribed herein unreasonable or impracticable. It shall be the developer's responsibility to make the necessary arrangements with each utility in accordance with the utility's established policies.

The underground installation of incidental appurtenances such as transformer boxes, pedestal-mounted terminal boxes for electricity, or similar service hardware necessary for the provision of electric and communication utilities shall not be required.

Below ground installation shall not normally be required for bulk electric power supply lines and communication major feeder lines. Nothing in this section shall be construed to prohibit any entity furnishing utility service within the city from collecting, as a condition precedent to the installation of service facilities, any fee, prepayment or contribution in aid of construction which may be required.

Access/Parking Design

Access

Access to parcels along the Orange Avenue corridor is strongly encouraged to be via shared driveways. Direct vehicular ingress and egress connections will be prohibited along Orange/Hansel Avenue when the city determines that adequate access can be provided from another location, including a side street or an existing available shared driveway. All driveways shall be constructed with concrete curbs.

Driveways shall be designed with the pedestrian in mind. This includes provision of at least a four (4) feet wide sidewalk and a minimum three feet wide tree zone, between the sidewalk and driveway, on both sides of a driveway connected to a public right-of-way for at least the depth of the building, to give the appearance of a roadway. The edge of the driveway adjacent to the tree zone shall be curbed.

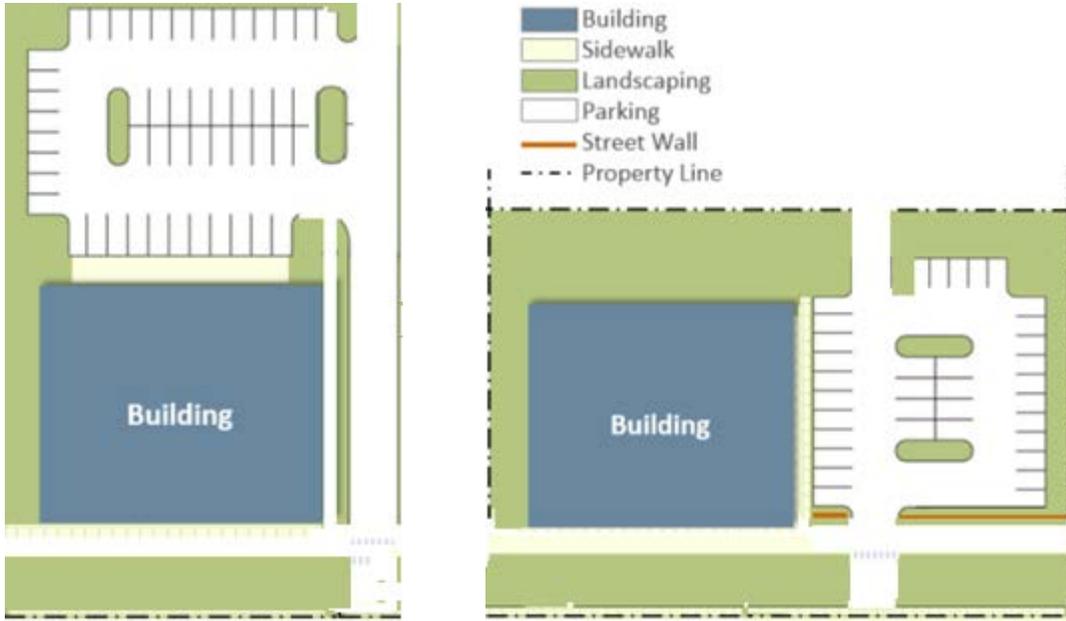


Sidewalks only on one side of driveway not allowed

To qualify for the shared driveway impervious surface bonus, the cross section of the street shall be placed on the property line and a non-exclusive cross access easement recorded in the public records.

Surface Parking Lots

The preferred location for a surface parking lot in the Road View portion of the site is behind the buildings in order to maximize the building's road frontage and pedestrian interest along the road corridor. Parking lots in the Road View portion of the site are allowed to be located on the side of the building, four feet behind an imaginary extension of the building's front façade, provided the minimum building frontage percentage is maintained. Pedestrian connections from the parking areas to the public building entrance shall be provided.



If parking is provided on the side of the building in the Road View portion of the site, the vehicular area shall be screened from the road by a street wall, which is intended to screen the vehicle use area and ensure that lights from parked vehicles do not shine into the right-of-way or adjacent pedestrian way.

Parking in the Rear portion of the site shall include the street wall if building placement in the Road View portion of the site is not opted.



The street wall shall be three (3) feet in height above grade of the parking lot. Street walls shall be constructed of materials that complement the finish on the primary building. Chain link, wood and PVC street walls is prohibited. The street wall is to be placed four feet behind an imaginary extension of the Build Line.

Landscaping shall be planted on the street side of the wall, and shall contain a continuous hedge of shrubs planted with at least three (3) feet in depth. The shrubs shall be at least 30 inches high at planting of a species capable of growing to 36 inches in height within 18 months. The minimum height that the hedge shall be maintained is 24 inches, with the maximum equal to the height of the wall. If the street wall exceeds forty (40) feet in length, columns will be required to be incorporated into the wall at a maximum of 20 feet on center, with an understory/small tree, in addition to the hedge requirement, planted at a rate of one tree/20 linear feet, or portion thereof, of wall.

Inclusion of the Tree/Furnishings/Sign Zone and Pedestrian Path Zone are required between the surface parking and right-of-way. All surface parking lots shall be landscaped consistent with city code standards.

Structured Parking

Parking structures shall reflect the character, scale and massing of the principal structures they serve and shall not be located along the road frontage or within one hundred (100) feet from any property used for single family residential uses without a liner building containing businesses and/or residential uses, or a façade designed to resemble a building conforming to the building design standards of the district. Where located along a road frontage, the Pedestrian Path and Tree/Furnishings/Sign Zones shall be provided. Where within one hundred feet of a property used for single family residential uses, one evergreen, shade tree shall be planted along the shared property line of those single family lots, at 50-foot on center intervals. The chosen species of such trees shall be capable of reaching a minimum mature height of 50', with a minimum mature spread of 40 feet, and either have a caliper of 4 inches diameter at breast height (dbh) or be 16-18 feet in height.





All internal elements such as plumbing pipes, fans, ducts and lighting, shall be screened from view from the street. Ramping shall be internalized. Exposed spandrels shall be prohibited.

Shared Parking/Parking Reduction

When any land or building accommodates two (2) or more categories of uses (e.g., residential and commercial), the minimum total number of required parking spaces for each use may be reduced through shared parking as allowed by Section 134-607.

Reduction in required parking spaces also may be approved if one of the following is met:

- a. A parking study is submitted demonstrating the amount of parking needed.
- b. Developments within a one-quarter mile from a transit stop are eligible for the following:
 - *The minimum number of parking spaces may be reduced by up to five (5) percent for sites where the closest portion of the building on the requested parcel is no more than a 1/4 of a mile (1320 linear feet) from a bus stop.*
 - *The minimum number of parking spaces may be reduced by up to twenty (20) percent for sites in which the closest portion of the building on the requested parcel is no more than a 1/4 of a mile (1320 linear feet) radius from a commuter rail or bus transfer station.*

On-street Parking

On-street parking within the right-of-way along newly created streets within the district or driveways that are directly connected to a public road may be allowed through the site development process. If allowed, only parallel parking can be created. Angled or perpendicular parking adjacent to a public street or entrance driveway shall not be allowed. Evergreen, shade trees will be required to separate the parallel spaces into sets of no more than four. On-street parking, if provided, may be counted toward meeting minimum parking requirements.



Use Specific Design Standards

Car/Automotive Washing and Detailing

These uses typically service motor vehicles owned by residents in the surrounding neighborhoods. However, car wash and detailing uses have the potential to generate undesirable conditions for adjacent properties. Airborne mist, odors from chemicals and vehicle exhaust, and noise from vacuums, pumps, pressurized sprayers, dryers, engines and car stereos are examples of common impacts generated by these uses. The impacts can be detrimental to the quality of life for adjacent property owners. The following design standards are intended to mitigate the associated undesirable impacts.

- *All washing, waxing, and detailing of automobiles shall be within an enclosed building, with the exception of tunnel entrance and exit doors. Detail bays are prohibited.*
- *Tunnel entrance/exit shall not face Orange Avenue, Hansel Avenue, Gatlin Avenue, Holden Avenue, or Hoffner Avenue.*
- *Vacuuming and drying of automobiles may be outside the building but shall not encroach upon any setback for the principal structure or intended landscape or pedestrian zone, shall only be located on paved areas.*
- *Vacuum stations and related equipment shall be completely screened from all streets or single family residential use or zoning districts.*
- *There shall be no outside storage, nor display of goods offered for sale.*
- *No radios, stereos, or other sound amplification devices shall be played when any of the motor vehicles doors or windows are open. Sound from radios, stereos, or other sound amplification devices shall not be audible from anywhere off the site.*
- *Parking or storage of vehicles and portable equipment on the site is not permitted outside a fully enclosed structure when the site is closed.*
- *Before a permit will be issued, the property owner shall sign an affidavit documenting the property owner understands conditions of operation.*
- *In addition to standard commercial site plan requirements, the proposed site plan must be designed and demonstrate effective ingress/egress to the site, adequate stacking for 5 vehicles per queuing/stacking lane, realistic turning radiuses, and the accommodation of a by-pass lane(s). The site plan shall also include the proposed*

architectural building rendering. These plans will include the Exterior Elevations and landscaping, and location for any proposed outside activities.



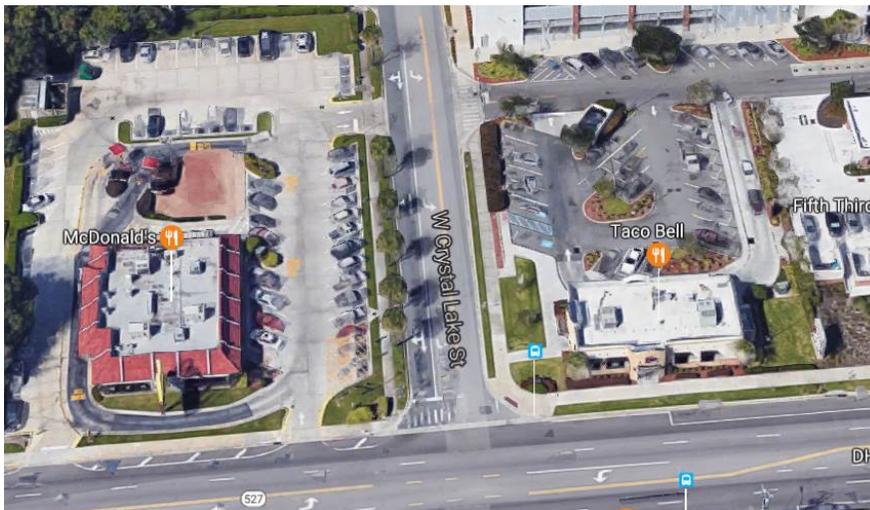
Drive Up Windows/Facilities

Drive up windows shall be designed on the rear of the building. The drive up aisle shall not be located between the building and Orange, Hansel, Gatlin, Holden, or Hoffner Avenues.

The building elevation facing Orange, Hansel Holden, Gatlin, or Hoffner Avenues, whether such elevation functions as the side or rear of the building, shall be architecturally designed to avoid the appearance that the elevation is the "back of the building."



Drive up aisles should have adequate on-site queuing distance to accommodate 6 cars (120 feet) before stopping point (e.g., pick up window, teller window, atm machine).



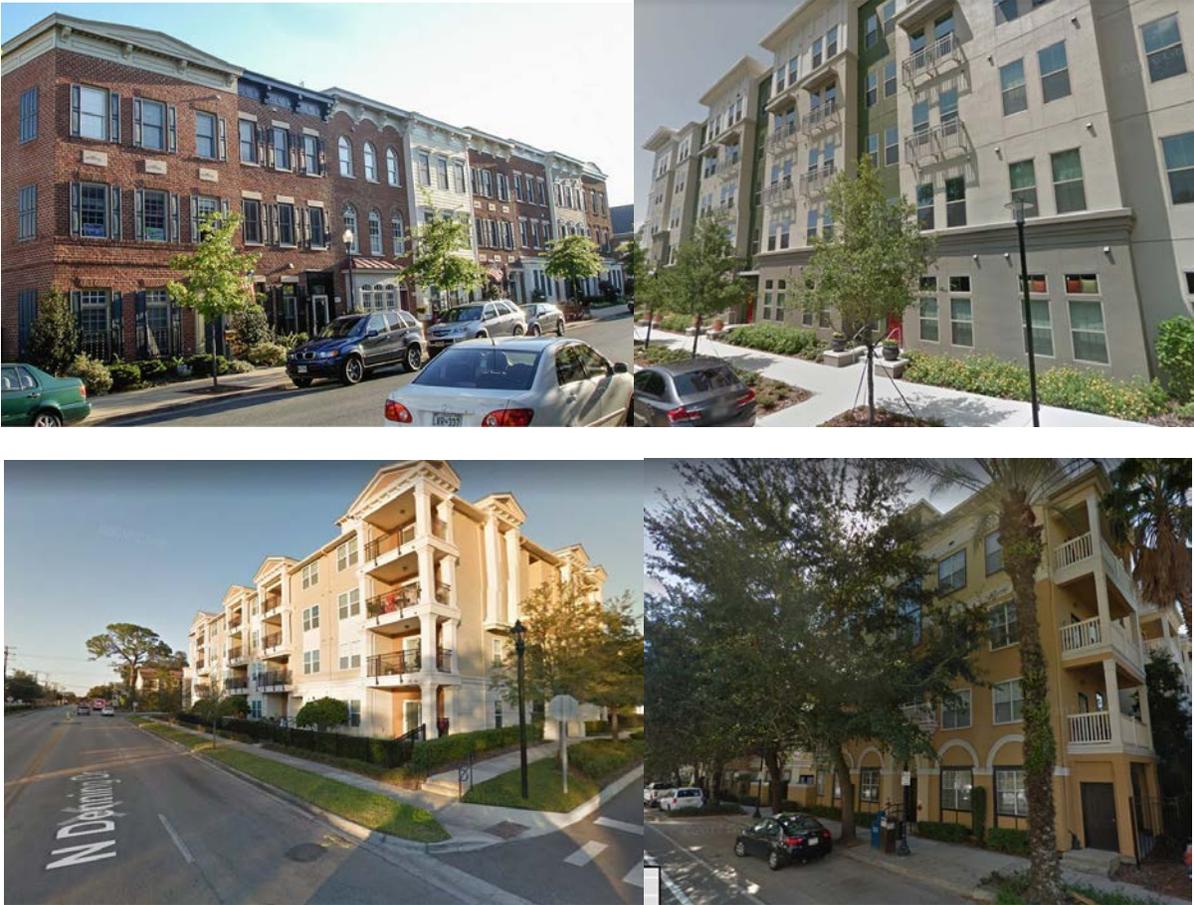
Garden Center

Outdoor storage of merchandise is not permitted in the Edgewood Central District. Garden Centers are allowed if incorporated/integrated into the primary building onsite with the intent that all merchandise is shielded from view from adjacent properties at ground level and street rights-of-way. An example of this requirement is the use of a freestanding wall constructed of the same material, color, height and style of the main building enclosing the garden center area. Freestanding walls are subject to the same design standards for buildings in this district.



Multi-Dwelling Residential Buildings (stand-alone)

In addition to the other design standards of the district, approval of a special exception to allow buildings used exclusively for residential purpose shall be based on a finding that the design of the proposed residential furthers the intent of the district, particularly for development to be human scale, encouraging alternative modes of transportation, and protecting the stability of existing residential neighborhoods through design. The building placement and design standards of the district shall apply.



Company Vehicles

Company vehicles will be allowed in the district under certain conditions. These conditions will provide flexibility in attracting businesses within the district while preserving the intent of the intended uses.

"To prohibit businesses that have the need for outdoor storage of merchandise or need for large expanses of onsite company parking"

To reserve the corridor for "businesses that are resident oriented, i.e., a mix of neighborhood shopping, service, and family entertainment establishments," and

To reserve the corridor for "places of employment that are compatible with and complement the residential character of Edgewood."

Only the following classes of company or fleet vehicles shall be allowed to be parked on the property:

- a. FHWA Class 2 – Passenger Cars. All sedans, coupes, and station wagons manufactured primarily for the purpose of carrying passengers.
- b. FHWA Class 3 – Other Two-Axle, Four-Tire Single Unit Vehicles. All two-axle, four tire vehicles, other than passenger cars. Included in this classification are pickups, panels, and vans. Campers, motor homes, ambulances, hearses, carryalls, and minibuses are not included in this class of vehicle.

Parking of the permissible company or fleet vehicles shall be on a parking lot located behind the line created by the rear of the Road View building. If only the Rear portion of the lot is developed, the company or fleet vehicles may be parked within the parking area for that portion of the site (i.e., behind the street wall, and a minimum of 100 feet from the front property line).

Passenger Car Rental, Urban Prototype

Only passenger vehicles as defined by the Federal Highway Administration shall be available for rent at this location.

Deliveries containing multiple vehicles from a truck are not permitted.

No vehicle maintenance and repair shall occur on-site, including oil changes, except light washing and vacuuming.

Location of any wash or vacuum stations, trash facilities shall be in accordance with the Car Wash/Detail standards.

There shall be no outside storage, other than the rental vehicles, nor outdoor display of goods offered for sale. The number of rental cars onsite is limited to 15, without special exception approval.

Micro Breweries, Craft Distilleries, Micro Wineries

No outdoor storage shall be permitted. All malt, vinous or distilled liquor production shall be within completely enclosed structures.

By-products or waste from the production of the malt, vinous or distilled liquor shall be properly disposed of off the property.

Building square footage shall not exceed 15,000 gross square feet without approval of a special exception.

A minimum of 25% of the building floor area shall be used as a restaurant, tasting room, or retail operation (or any combination thereof).

Development Bonus

The purpose of the development bonus system is to promote achievement of the goals and vision of the district that otherwise would not be economically feasible without a bonus in development intensity. Development sites may receive more than one bonus. However, the intensity and height shall not exceed the maximum allowed in the District.

All costs associated with implementation of the bonus categories shall be the responsibility of the developer.

Creation of an Activity Node as a "Great Place"

As stated above, the vision is the creation of activity nodes, the identifiable "places" where people want to be in. Creation of the activity node affords several density bonuses including increased height and impervious surface maximum.

Prerequisites for the bonus include the following design standards:

- 1) Development proposals must be at least 7.5 acres in size.
- 2) Development layout is to be designed with the pedestrian in mind reflected by walkable blocks, use of arcades and galleries, and emphasis on active first floor uses oriented to the street.
- 3) Both residential and nonresidential uses are included.
- 4) Architectural features shall be submitted which demonstrates a cohesive design.
- 5) Parking shall be located behind buildings or in parking structures. On street parallel parking is allowed; on-street angled parking shall not be allowed.
- 6) Public amenities will be incorporated throughout the development including, but not necessarily limited to, public seating.
- 7) Include a park/urban plaza meeting the following criteria.
 - *The minimum area shall comprise at least one 1/2 (0.5) of an acre and the maximum shall be 2 acres.*

- *The area is spatially defined by building frontages and at least 150 feet of frontage on a two-lane street; incorporation of the lake frontage is strongly encouraged.*
 - *Building façades facing the plaza shall have at least seventy (70) percent of their first floor's primary façade in transparent windows and/or public entrances and incorporate a Pedestrian Path and Tree/Furnishing Zones as defined in this district.*
 - *The area will consist of paved surfaces with planters and landscaped areas consisting of paths, lawns, and shade trees, seating, and other furnishings, all formally arranged, and shall include a water feature/fountain as a focal point. Placing focal point elements at the center of the park/plaza is not necessary; placement closer to the edge/pedestrian routes can help to attract users.*
 - *The urban plaza or park shall be privately-owned and maintained, but open to the public. The applicant shall also be required to prepare a management plan for the maintenance and ownership of the site (property owner's association).*
 - *The applicant will be required to record a legal document prohibiting the future development of the public park/plaza.*
- 8) A comprehensive sign plan providing a cohesive design for the activity node shall be submitted.
- 9) Demonstration of compatibility with adjacent uses.



Request for development approval must include elevations and colored renderings with materials identified in addition to development site plan.

A rendering of a potential layout is shown in the next exhibit.



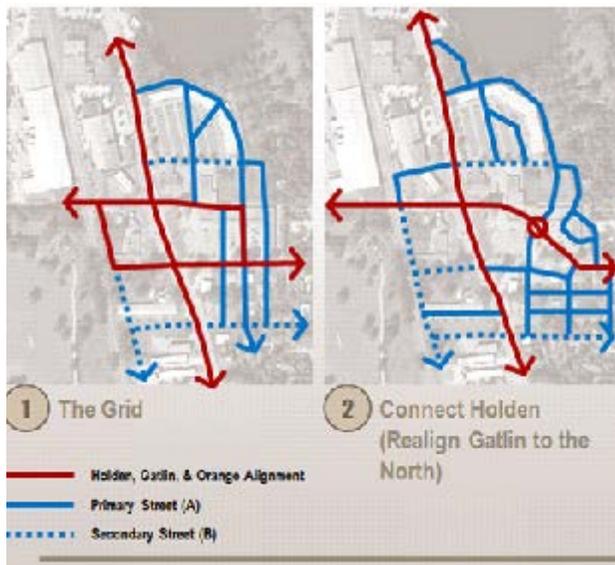
- Commercial/Retail
 - 85,000 SQFT
- Medical Office
 - 70,000 SQFT
- Residential Units
 - 300
- Open Space
 - +/- 5 AC



Road Connectivity Improvement

Land set aside for improved public road connectivity within the city, in particularly the connection of Holden Avenue to Gatlin Avenue, will receive a transfer of development rights to other areas of the site at 1:1 land area ratio based on the maximum density/intensity allowed in the comprehensive plan (currently 25 residential units per acre and 1.0 Floor Area Ratio for non-residential uses. In addition, cost of the road construction may be creditable against any transportation impact fees attributable to development of the site.

Three scenarios were presented by the MPO Study, with “the Grid” being the preferred option; however, other designs will be considered.



Cross access easements are not eligible for this bonus.

Consolidation of Access Points/Use of Joint Driveways on Major Roads

Minimizing the number of driveway connections along the corridor is not only important for efficient through-traffic movements, but will improve pedestrian safety. Minimizing the number of driveways reduces the number of potential pedestrian/driver conflicts. Thus, the goal along the road corridor is consolidation of driveways.

The use of a joint use/shared driveway by locating the driveway on a shared property line and a non-exclusive ingress/egress access easement recorded in Orange County official public records will be eligible for an impervious surface area bonus equal to the impervious surface of the shared driveway.

Other Bonuses to Consider

Structured Parking

Provision of public parking above the minimum parking requirements for use by nearby businesses.

Improved Transit Shelters

Catalyst for construction of a bus transit shelter within the city limits (either physically construct or toward capital costs payment) consistent with the latest LYNX transit development plan.

Environmental Sensitive Design

Green building certified construction related to energy efficiency, resource protection and environmental protection (e.g. reusable building materials, light colored roof materials, living roofs to treat stormwater, energy efficient windows, solar energy, etc.) set forth by agencies such as, but not limited to, the United States Green Building Council, the Florida Green Building Coalition and similar agencies are encouraged. Provision of electric vehicle charging stations should also be considered.

Bonus shall be based on achievement of silver, gold, or platinum certification.

Non-Conforming Uses/Structures

It is the intent to permit nonconforming Uses/Structures to continue until they are removed but not to encourage their survival. It is further the intent that a nonconformity shall not be perpetuated nor be used as grounds for adding other structures or uses prohibited in this district. Nonconforming uses may not be expanded beyond the scope and area of its operation at the time this regulation is adopted. When a nonconforming use has been discontinued for a period of 180 calendar days, all subsequent uses shall revert to those permitted in this district.

Conflicts

In the event of any conflict between the provisions of this Section and other provisions of the Land Development Code, the more restrictive of the two shall prevail.

Definitions

ALTERNATIVE FINANCIAL SERVICES BUSINESSES use is the use of a site for a check cashing business, payday advance or loan business, money transfer business, motor vehicle title loan business, or a credit access business as defined in this section.

(1) This use excludes the following:

- a state or federally chartered bank, savings and loan association or credit union, or a pawnshop, and
- a convenience store, supermarket, or other retail establishment where consumer retail sales constitute at least 75% of the total gross revenue generated on site.

(2) This use includes, but is not necessarily limited to, the following.

(a) A CHECK CASHING BUSINESS is an establishment that provides one or more of the following:

- an amount of money that is equal to the face of a check or the amount specified in a written authorization for an electronic transfer of money, less any fee charged for the transaction;
- an agreement not to cash a check or execute an electronic transfer of money for a specified period of time; or
- the cashing of checks, warrants, drafts, money orders, or other commercial paper for compensation by any other person or entity for a fee.

(b) A PAYDAY ADVANCE OR LOAN BUSINESS is an establishment that makes small consumer loans of \$2,500 or less, usually backed by postdated check or authorization to make an electronic debit against an existing financial account, where the check or debit is held for an agreed-upon term or until a customer's next payday and then cashed unless the customer repays the loan to reclaim the check or debit. Such establishments may charge a flat fee or other service charge and/or a fee or interest rate based on the size of the loan amount.

(c) A MOTOR TITLE LOAN BUSINESS is an establishment that makes small consumer loans of \$2,500 or less that leverage the equity value of a car or other vehicle as collateral where the title to such vehicle is owned free and clear by the loan applicant and any existing liens on the vehicle cancel the application. Failure to repay the loan or make interest payments to extend the loan allows the lender to take possession of the vehicle.

ART GALLERY use is the use of a site for the display or sale of art.

ART WORKSHOP use is use of a site for the production of art or handcrafted goods, and it includes the incidental sale of the art produced.

ARTISAN FOOD/PRODUCTS MANUFACTURING refers to food produced by non-industrialized methods, in amounts not intended for mass-output, examples include cheese, charcuterie, coffee roasters, and soaps. This use must include a retail component.

ASSISTED LIVING HOUSING use is the use of a site of multiple dwelling units designed and marketed specifically for the elderly and/or the physically disabled not requiring 24-hour skilled nursing care.

AUTOMOTIVE LEASING/RENTALS use is the use of a site for the leasing or rental of non-passenger trucks, trailers, or recreational vehicles.

AUTOMOTIVE REPAIR AND SERVICES use is the use of a site for the repair and/or servicing of automobiles, noncommercial trucks, motorcycles, motor-homes, recreational vehicles, or boats. This use includes muffler shops, oil change shops, auto repair garages, tire sales and installation, wheel and brake shops, body and fender shops, and similar repair and service activities, but excludes dismantling or salvage.

AUTOMOTIVE SALES use is the use of a site for sale or leasing of automobiles, commercial or noncommercial trucks, motorcycles, motor-homes, recreational vehicles, or boats. This use includes new and used car dealerships, motorcycle dealerships, and boat, trailer, and recreational vehicle dealerships.

AUTOMOTIVE WASHING/DETAILING, FULL SERVICE use is the use of a site for washing and cleaning of passenger vehicles, recreational vehicles, or other light duty equipment. Facility shall be limited to the following activities:

1. Fully automated and/or manual washing, waxing, polishing, drying of automobiles by employees.
2. Fully automated or manual vacuuming and cleaning of the interior of automobiles by employees.

Design standards apply.

BAIL BOND SERVICES use is the use of a site by a licensed bail bond surety to provide bail bond services.

BARS (Alcoholic) means an establishment other than a restaurant, licensed to sell alcoholic beverages for consumption on premises; that limits patronage to adults of legal age for the consumption of alcohol; and in which food service may be an accessory to the service of alcoholic beverages. A bar may include an area outside of an enclosed building provided a wall or fence delineates the limits of that outdoor area, and such area is included in the licensed premises description in the vendor's license certificate.

BLANK WALL means a portion of the exterior facade of the building that does not include windows or doors; columns, pilasters or other articulation greater than 18 inches in depth; or a material change (paint color is not considered a substantial change).

BUILD LINE is the line at which construction of a building facade is to occur on a lot, running parallel to the front property line.

BUILDING MAINTENANCE SERVICES use is the use of a site for provision of maintenance and custodial services. This use includes janitorial service, landscape maintenance, and window cleaning services.

BUSINESS OR TRADE SCHOOL use is the use of a site for provision of education or training in business, commerce, language, or other similar activity or occupational pursuit that is not otherwise described as a home occupation, college, university, or public or private educational facility.

CAMPGROUND use is the use of a site for provision of camping or parking areas and incidental services for travelers in recreational vehicles or tents. This use includes recreation vehicle parks.

CLUB OR LODGE use is the use of a site for provision of meeting, recreational, or social facilities by a private or nonprofit association, primarily for use by members and guests. This use includes private social clubs and fraternal organizations.

COLLEGE AND UNIVERSITY FACILITIES use is the use of a site as an educational institution of higher learning that offers a course of study designed to culminate in the issuance of a degree.

COMMUNITY EVENTS use an approved Council project, such as the city farmer's market

COMMUNITY FOOD SERVICES comprise establishments primarily engaged in the collection, preparation, and delivery of food for the needy. Establishments in this industry may also distribute clothing and blankets to the poor. These establishments may prepare and deliver meals to persons who because of age, disability, or illness are unable to prepare meals for themselves; collect and distribute salvageable or donated food; or prepare and provide meals at fixed or mobile locations. Food banks, meal delivery programs, and soup kitchens are included in this definition.

COMMUNICATIONS SERVICES use is the use of a site for the provision of broadcasting or information relay services through electronic and telephonic mechanisms, but excludes major utility facilities. This use includes television, film, or sound recording studios, telecommunication service centers, and telegraph service offices.

COMPANY VEHICLES means vehicles owned by a business or other commercial entity, bearing commercial markings related to the business operation, and used by employees or principals of the business operation.

CONSIGNMENT SHOP is a store that sells secondhand items (typically clothing and accessories) on behalf of the original owner, who receives a percentage of the selling price.

CONSTRUCTION EQUIPMENT SALES AND SERVICES use is a use involving construction activities, the incidental storage of materials on sites other than construction sites,

and the on-site sale of materials used in the construction of buildings or other structures, other than retail sale of paint, fixtures and hardware.

CONSUMER CONVENIENCE SERVICES use is the use of a site for the provision of convenient and limited services to individuals in access-controlled facilities that make twenty-four hour operation possible. This use includes the renting of private postal and safety deposit boxes to individuals and automated banking machines.

CONSUMER ELECTRONICS/COMMUNICATION EQUIPMENT REPAIR SERVICES use is the use of a site for the provision of repair services for electronics such as televisions, computers, or smartphones, bought for personal rather than commercial use. This use does not include automotive repair services, large appliance repair services, automotive repair, or service stations.

CONVENIENCE STORAGE use is storage services primarily for personal effects and household goods within enclosed storage areas having individual access. This use includes mini-warehouses

CRAFT DISTILLERY: An establishment that is licensed by the Florida Department of Business and Professional Regulation, Division of Alcoholic Beverages and Tobacco to produce distilled spirits. The establishment must include a retail and/or eating/drinking/cafe requirement onsite. May include a tasting room and may include office establishment or event facility components in addition to the area devoted to production of liquors. Building size is limited to a maximum of 15,000 square feet. Larger facilities require a special exception. Other design standards apply.

DETENTION FACILITIES use is the use of a site for the provision by a public agency of housing and care for legally confined individuals.

ELECTRONICS TESTING use is the use of a site for testing an electrical or electronic component for a computer, computer peripheral, radio, telephone, scientific or medical instrument, or similar equipment. The use excludes the manufacture or assembly of a product.

EMERGENCY RELIEF SERVICES provide immediate financial and/or material support to people in financial crisis. The type of assistance offered by each organization varies, however may include assistance such as:

- food, transport or pharmaceutical vouchers
- part-payment of utility accounts
- food parcels or clothing
- budgeting assistance and/or
- referrals to other services that help to address underlying causes of financial crisis.

EXTERMINATING SERVICES use is the use of a site for the eradication or control of rodents, insects, or other pests with incidental storage on sites other than where the service is rendered.

FLEA MARKET, OUTDOOR a market selling secondhand goods.

FLEET VEHICLES means vehicles owned by a business or other commercial entity and used by employees or principals of the business operation in the delivery of goods or provision of services.

FUNERAL SERVICES use is the use of a site for the preparation human dead for burial, arranging, or managing funerals. This use includes funeral homes and mortuaries, though excludes crematories.

GARDEN CENTER means a retail establishment, or portion thereof, that sells garden supplies, plants and related products for the domestic garden.

HEAVY EQUIPMENT SALES, REPAIRS, AND SERVICING use is the use of a site for the sale or rental, repairs or servicing of non-passenger trucks, tractors, construction equipment, agricultural implements, mobile homes, or similar heavy equipment, including incidental storage, maintenance, and servicing. This use includes truck dealerships, construction equipment dealerships, and mobile home sales establishments, in addition to truck repair garages, tractor and farm implement repair services, and machine shops, dismantling and salvage activity.

LANDSCAPE EQUIPMENT STORAGE use is the use of a site for outdoor storage of vehicles and trailers used to transport landscaping equipment, and/or the outdoor storage of landscaping equipment.

LINER BUILDING is a building that is placed on the edge of a parking structure used to screen the parking structure and maintain an active street frontage instead of the dead space typically found next to a parking garage.

MAJOR UTILITY FACILITIES use is the use of a site for the provision of generating plants, electrical switching facilities or primary substations, refuse collection or disposal facilities, water or wastewater treatment plants, or similar facilities.

MEDICAL OFFICES use is the use of a site for the consultation, diagnosis, therapeutic, preventative, or corrective personal treatment by doctors, dentists, medical or dental laboratories, or similar practitioners of medical and healing arts for humans, licensed for practice by the state.

MICRO-BREWERY is an establishment that is licensed by the Florida Department of Business and Professional Regulation, Division of Alcoholic Beverages and Tobacco to manufacture malt beverages. The establishment may also include a tasting room and retail space to sell malt beverages produced on the premises along with related retail items and food. Building size is limited to a maximum of 15,000 square feet. Larger facilities require a special exception. Other design standards apply.

MICRO-WINERY is an establishment that is licensed by the Florida Department of Business and Professional Regulation, Division of Alcoholic Beverages and Tobacco to produce wine. The establishment may also include a tasting room and retail space to sell wine produced on the premises along with related retail items and food.

Building size is limited to a maximum of 15,000 square feet. Larger facilities require a special exception. Other design standards apply.

MINIMUM LOT FRONTAGE is the minimum width of a lot where it adjoins a street. The purpose of minimum lot frontage is to prevent congestion by minimizing curb cuts, providing for sufficient width for on-site parking.

MINIMUM BUILDING FRONTAGE means the minimum width of a building as measured along the building's frontage to a road; Minimum Building Frontage is based on a percentage of the subject lot's road frontage.

MIXED USE BUILDING is a building where the ground floor is occupied by retail, service, and/or office uses; the upper floors may include non-residential use and/or residential dwelling units. The ground floor must be designed for maximum pedestrian interaction (shop fronts, outdoor cafes, etc.).

MONUMENT RETAIL SALES use is the use of a site primarily for the retail sale of monuments for placement on graves. This use includes the sale, storage, and delivery of headstones, footstones, markers, statues, obelisks, cornerstones, and ledgers.

MULTI-DWELLING RESIDENTIAL BUILDINGS means non-transient residential buildings consisting of two or more dwelling units; Multi-Dwelling Residential Buildings includes condominium and townhouse residential developments and specifically excludes institutional living facilities providing 24-hour nursing or medical care and Detention Facilities.

MUSEUM is an enclosed building in which objects of historical, scientific, artistic or cultural interest are stored and exhibited totally within an enclosed building.

OUTSIDE HOME EQUIPMENT pertains to tools and furnishings for home patio, pool, and lawns typically used by the resident, i.e., non-commercial.

PAWN SHOP SERVICES use is the use of a site for the lending of money on the security of property pledged in the keeping of the pawnbroker, and the incidental sale of the property.

PERSONAL IMPROVEMENT SERVICES use is the use of a site for the provision of informational, instructional, personal improvement, and similar services of a non-professional nature. This use includes photography studios, driving schools, health or physical fitness studios, reducing salons, dance studios, and handicraft or hobby instruction.

POSTAL FACILITIES use is the use of a site for the provision of postal services and includes post offices, bulk mail processing, and sorting centers operated by the United States Postal Service.

PRINTING AND PUBLISHING use is the use of a site for the bulk reproduction, printing, cutting, or binding of written or graphic material.

PROFESSIONAL OFFICE use is the use of a site for the provision of professional or consulting services in the fields of law, architecture, design, engineering, accounting, or similar professions.

RECREATIONAL EQUIPMENT MAINTENANCE AND STORAGE use is the use of a site for the maintenance, service, or storage of sports equipment, watercraft, watercraft motors, trailers, motorcycles, or motor-homes.

RECREATION, SPORTS, AND FITNESS, INDOOR use is a recreational use conducted within an enclosed building. This use includes such activities as bowling alleys, billiard parlors, ice and roller skating rinks, electronic video (non-gambling) arcades, gymnastic instruction, indoor playgrounds, and indoor racquetball courts. This use does not include gambling facilities or adult entertainment.

RELIGIOUS ASSEMBLY use is regular organized religious worship or religious education in a permanent or temporary building. The use excludes private primary or secondary educational facilities, community recreational facilities, day care facilities, and parking facilities. A property tax exemption is prima facie evidence of religious assembly use.

RESIDENTIAL TREATMENT FACILITY use is 24 hour supervision, counseling, or treatment. This use includes alcohol and chemical dependency rehabilitation facilities, facilities to which persons convicted of alcohol or drug-related offenses are ordered to remain under custodial supervision as a condition of probation or parole, and residential care facilities and halfway houses for the emotionally ill. This is not a skilled nursing facility.

RESTAURANT means any establishment where food is prepared and served for consumption off the premises or within an enclosed building. Outdoor seating areas in conjunction with the restaurant shall be considered part of the restaurant.

SCHOOL as referenced in this document includes those institutions providing a full day program of academic classes, public or private, as well as other businesses such as a truck driving school or motorcycle repair school, where the additional review provided by the Special Exception process is appropriate.

SCIENTIFIC RESEARCH SERVICES means research of a scientific nature such as electronics research laboratories, space research or development firms, and pharmaceutical research labs; Scientific Research Services shall not include animal testing.

SKILLED NURSING FACILITY use is the use of a site for the provision of bed care and in-patient services for persons requiring regular medical attention. This use excludes the provision of surgical or emergency medical services and the provision of care for alcoholism, drug addiction, mental disease, or communicable disease. This is not a residential treatment facility.

SOFTWARE DEVELOPMENT use is the use of a site for development or testing of computer software packages including magnetic disks, tapes, and associated operating manuals.

TELECOMMUNICATION TOWER use is the use of a site for provision of a structure built exclusively to support one or more antennae for receiving or transmitting electronic data or telephone communications.

THEATER use is the use of a site for presentation of plays, motion pictures, or other dramatic performances within a building, does not include adult entertainment.

THRIFT STORE is a store selling secondhand clothes and other household goods, which have been donated.

TRANSITIONAL HOUSING use is the use of a site for the supervision or detention of residents who are making the transition from institutional to community living. This use includes pre-parole detention facilities and halfway houses for juvenile delinquents and adult offenders, and overnight shelters for the homeless.

VEHICLE STORAGE use is the use of a site for overnight storage for vehicles. This use includes storage of vehicles towed from private parking areas and impound yards, but excludes dismantling or salvage, and storage of hobby or recreational vehicles.

VOCATIONAL REHABILITATION COUNSELING use is the counseling of persons with functional, psychological, developmental, cognitive and emotional impairments or health disabilities to overcome barriers to accessing, maintaining or returning to employment or other useful occupation. This use does not include in-patient or overnight treatment.

WAREHOUSE CLUB is a retail store, typically selling a wide variety of merchandise, in which customers buy large, wholesale quantities of the store's products. Customers must first become club members.

NOTES

