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CITY COUNCIL AGENDA
Workshop
City Hall – Council Chamber
405 Larue Avenue, Edgewood, Florida
Saturday, July 21, 2018
9:00 a.m. to 11:00 a.m.

John Dowless
Council President

Richard Alan Horn
Council Member

Susan Fortini
Council Member

City Council Workshop meetings are for information gathering and discussion purposes. The City Council will not vote on any issues at Workshop meetings. The Council reserves the right to discuss additional items or delete items from the tentative agenda.

PLEASE SILENCE ALL CELLULAR PHONES AND PAGERS DURING THE WORKSHOP MEETING.
“THANK YOU” for participating in your City Government.

CALL TO ORDER

PRESENTATIONS

ORDINANCE 2018-09 - AN ORDINANCE OF THE CITY OF EDGEWOOD, FLORIDA, AMENDING CHAPTER 134 OF THE CODE OF ORDINANCES TO CREATE A NEW ZONING DISTRICT; PROVIDING FOR DEFINITIONS; PROVIDING FOR PERMITTED, CONDITIONAL, AND PROHIBITED USES WITHIN THE NEW ZONING DISTRICT; PROVIDING FOR DEVELOPMENT STANDARDS AND REGULATIONS WITHIN THE NEW ZONING DISTRICT; PROVIDING FOR SEVERABILITY; PROVIDING FOR CODIFICATION, CONFLICTS, AND AN EFFECTIVE DATE.

ADJOURNMENT

In accordance with the American Disabilities Act (ADA), if any person with a disability as defined by the ADA needs special accommodation to participate in this proceeding, he or she should telephone the City Clerk at (407) 851-2920 or email at bmeeks@edgewood-fl.gov 48 hours prior to the meeting.

35 revitalization of the land use along the Orange Avenue corridor and a change from auto-oriented
36 to multimodal transportation through and near the corridor; and

37 **WHEREAS**, the recommended design guidelines included strategies to improve
38 walking, biking, and transit options, not only for improved mobility, but also for air quality
39 benefits; and

40 **WHEREAS**, in 2017, the City contracted with Little/LandDesign to assist City staff, its
41 residents, and its business owners in re-validating the vision for the Orange Avenue corridor; and

42 **WHEREAS**, The Little/LandDesign survey showed the desire for more landscaping
43 along the Orange Avenue corridor, an increase of active/people-oriented commercial (such as
44 retail shops, dining and entertainment), rather than the existing heavy commercial uses, and an
45 increase in the effectiveness of alternative forms of transportation, including an interconnected
46 network of sidewalks and bike lanes, and establishing a commuter rail station in the city; and

47 **WHEREAS**, The City Council finds that the adoption of this Ordinance furthers the
48 City's longstanding interest in addressing future development along the Orange Avenue corridor;
49 and

50 **WHEREAS**, in this Ordinance additions to the Code of Ordinances are indicated by
51 underline, deletions are indicated by ~~striketrough~~, and portions of the Code that remain unchanged
52 and which are not reprinted here are indicated by ellipses (***)).

53 **NOW THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE**
54 **CITY OF EDGEWOOD, FLORIDA, AS FOLLOWS:**

55 **SECTION ONE.** The findings set forth in the recitals above are hereby adopted as
56 legislative findings of the City Council pertaining to this Ordinance.

57 **SECTION TWO.** Chapter 134, "Zoning," Article I, "In General," Section 134-1
58 "Definitions," is hereby amended as follows:

59 **Sec. 134-1. Definitions.**

60 Except where specific definitions are used within a specific article or section of this
61 chapter, the following terms, phrases, words and their derivation shall have the meanings given
62 herein where not inconsistent with the context. Words used in the present tense include the
63 future, words in the plural number include the singular number and words in the singular
64 number include the plural number. The word "lot" includes the words "plot" and "tract." The
65 word "building" shall include the word "structure." The words "used for" shall include the
66 meaning "designed for." The word "person" shall include the words "firm, association,
67 organization, partnership, trust, company, corporation," as well as "an individual." The word
68 "shall" is mandatory. Whenever in this chapter a term, phrase or word is not defined, then in
69 that event the city council shall define the same.

70

71 * * *

72 Alternative Financial Services Business means a check cashing business, payday advance or
73 loan business, money transfer business, motor vehicle title loan business, or a credit
74 access business as defined in this section. The term Alternative Financial Services
75 Business shall not include: a state or federally chartered bank, savings and loan
76 association, credit union, pawnshop, convenience store, supermarket, or other retail
77 establishment where consumer retail sales constitute at least 75% of the total gross
78 revenue.

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82
83 Art Gallery means an establishment operated for the display or sale of art.

84
85 Art Workshop means an establishment where art or handcrafted goods are produced.

86
87 Artisan Food and Personal Goods Manufacturing means food and personal goods produced by
88 non-industrialized methods, in quantities not intended for mass-output; examples include
89 cheese, charcuterie, coffee roasters, and soaps. This use must include a retail component.

90
91 Assisted Living Housing means housing consisting of multiple dwelling units designed and
92 marketed specifically for the elderly and/or the physically disabled and which does not
93 provide 24-hour nursing care.

94
95 * * *

96
97 Automotive Repair and Services means the repair or servicing of automobiles, noncommercial
98 trucks, motorcycles, motor-homes, recreational vehicles, or boats; Automotive Sales and
99 Services includes muffler shops, oil change shops, auto repair garages, tire sales and
100 installation, wheel and brake shops, body and fender shops, and similar repair and service
101 activities;

102
103 Automotive Sales means the sale or leasing of automobiles, commercial or noncommercial
104 trucks, motorcycles, motor-homes, recreational vehicles, or boats; Automotive Sales
105 includes new and used car, motorcycle, boat, trailer, and recreational vehicle dealerships.

106
107 Automotive Washing and Detailing means the washing and cleaning of passenger vehicles,
108 recreational vehicles, or other light duty equipment by means of automated or manual
109 washing, waxing, polishing, and drying of automobiles by employees and automated or
110 manual vacuuming and cleaning of the interior of automobiles by employees.

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112 * * *

113
114 Bail Bond Services means an establishment operated by a licensed bail bond surety to provide
115 bail bond services.

116
117 Bars (Alcoholic) means an establishment other than a restaurant, licensed to sell alcoholic

118 beverages for consumption on premises that limits patronage to adults of legal age for the
119 consumption of alcohol and in which food service may be an accessory to the service of
120 alcoholic beverages. A bar may include an area outside of an enclosed building provided
121 the limits of that outdoor area are visually delineated, and such area is included in the
122 licensed premises description in the vendor's license certificate.

123
124 * * *

125
126 Blank Wall means a portion of the exterior facade of the building that does not include windows
127 or doors, columns, pilasters or other articulation greater than 18 inches in depth, or a
128 change of materials; for the purpose of this definition, change of paint color shall not be
129 considered a change of materials.

130
131 * * *

132
133 Building Maintenance Services means business providing maintenance, custodial, janitorial,
134 landscape maintenance, or window cleaning services.

135
136 Build Line means a line running parallel to the front property line at which construction of a
137 building facade is required to occur.

138
139 Business or Trade School means a facility providing education or training in business,
140 commerce, language, or other similar activity or occupational pursuit that is not otherwise
141 described as a home occupation, college, university, or public or private educational
142 facility.

143
144 Campground means a site providing camping and related parking areas and incidental services
145 for travelers in recreational vehicles or tents; this term includes recreational vehicle
146 parks.

147
148 * * *

149
150 Club or Lodge means meeting, recreational, or social facilities by a private or nonprofit
151 association, primarily for use by members and guests. This use includes private social
152 clubs and fraternal organizations.

153
154 ~~Club~~ means buildings, facilities and property owned and operated by a corporation or
155 association of persons for social or recreational purposes, including those organized
156 chiefly to promote friendship and welfare among its members, but not operated
157 primarily for profit or to render a service which is customarily carried on as a business.

158
159 * * *

160
161 College and University Facilities means an educational institution of higher learning that offers a
162 course of study designed to culminate in the issuance of a degree.

163

164 Community Events means public events sponsored by the City of Edgewood.

165
166 Community Food Services means establishments primarily engaged in the collection,
167 preparation, and delivery of food for the needy; Community Food Services
168 establishments may also distribute clothing and blankets to the poor.

169
170 Communications Services means broadcasting or information relay services through electronic
171 and telephonic mechanisms such as television, film, or sound recording studios, and
172 telecommunication service centers.

173
174 Company Vehicles mean vehicles owned by a business or other commercial entity, bearing
175 commercial markings related to the business operation, and used by employees or
176 principals of the business operation.

177
178 * * *

179
180 Consignment Shop means a retail establishment that sells secondhand items (typically clothing
181 and accessories) on behalf of the original owner, who receives a percentage of the selling
182 price.

183
184 Construction Equipment Sales and Services means an establishment providing construction
185 activities, the incidental storage of materials on sites other than construction sites, and the
186 on-site sale of materials used in the construction of buildings or other structures;
187 Construction Equipment Sales and Services shall not include establishments limited to
188 retail sales of paint, hardware and fixtures.

189
190 Consumer Convenience Services means an establishment that provides limited personal
191 convenience services, such as private postal and safety deposit boxes and automated
192 banking machines, to individuals in access-controlled facilities that make 24-hour
193 operation possible.

194
195 Consumer Electronics/Communication Equipment Repair Services means an establishment
196 providing repair services on electronics such as televisions, computers, or smartphones,
197 bought for personal rather than commercial use. Consumer Electronics/Communication
198 Equipment Repair Services does not include large appliance repair services, automotive
199 repair or service stations.

200
201 Convenience Storage means storage services primarily for personal effects and household goods
202 within enclosed storage areas having individual access. This use includes mini-
203 warehouses.

204
205 Craft Distillery means an establishment that is licensed by the Florida Department of Business
206 and Professional Regulation, Division of Alcoholic Beverages and Tobacco to produce
207 distilled spirits; such establishment must include a retail and/or eating/drinking/cafe
208 requirement onsite and may include a tasting room and office establishment or event
209 facility components in addition to the area devoted to production of liquors.

210
211 Detention Facilities means a residential facility operated by public agency for housing and care
212 of legally confined individuals.

213
214 * * *
215

216 Electronics Testing means testing of electrical or electronic components for a computer,
217 computer peripheral, radio, telephone, scientific or medical instrument, or similar
218 equipment; Electronics Testing does not include manufacture or assembly of goods or
219 products.

220
221 Emergency Relief Services means an establishment providing immediate financial and/or
222 material support to people in financial crisis; the type of assistance offered will vary but
223 may include: provision of food, transport or pharmaceutical vouchers; part-payment of
224 utility accounts; provision of food parcels or clothing; budgeting assistance; and referrals
225 to other services that help to address underlying causes of financial crisis.

226
227 * * *
228

229 Exterminating Services means an establishment providing off-site services for the eradication or
230 control of rodents, insects, or other pests.

231
232 * * *
233

234 Flea Market, Outdoor means an outdoor market selling secondhand goods.

235
236 Fleet Vehicles means vehicles owned by a business or other commercial entity and used by
237 employees or principals of the business operation in the delivery of goods or provision of
238 services.

239
240 * * *
241

242 Funeral Services means the preparation of human dead for burial and arranging or managing
243 funerals; Funeral Services includes funeral homes and mortuaries; Funeral Services does
244 not include crematories.

245
246 Furniture Repair means the rebuilding, rehabilitation, renovation, repair and restoration of
247 furniture, including antique furniture and furnishings.

248
249 * * *
250

251 Garden Center means a retail establishment that sells plants and related products for
252 domestic gardens.

253
254 * * *
255

256 Heavy Equipment Sales, Repairs, and Servicing means the sale, rental, repair or servicing of non-
257 passenger trucks, tractors, construction equipment, agricultural implements, mobile
258 homes, or similar heavy equipment, including incidental storage; Heavy Equipment
259 Sales, Repairs, and Servicing includes non-passenger truck dealerships, construction
260 equipment dealerships, mobile home sales establishments, non-passenger truck repair
261 garages, tractor and farm implement repair services, machine shops, and dismantling and
262 salvage activity.

263
264 * * *

265
266 Landscape Equipment Storage means the use of a site for outdoor storage landscaping equipment
267 and of vehicles and trailers used to transport landscaping equipment.

268
269 Liner Building means a building that is placed on the exterior of a parking structure for the
270 purpose of screening the parking structure from view and maintaining an active street
271 frontage instead of the dead space typically found next to a parking garage.

272
273 * * *

274
275 Major Utility Facilities means generating plants, electrical switching facilities or primary
276 substations, refuse collection or disposal facilities, water or wastewater treatment plants,
277 or similar facilities.

278
279 * * *

280
281 Medical Offices means an establishment for consultation, examination, diagnosis, therapeutic,
282 preventative, or corrective personal treatment by doctors, dentists, medical or dental
283 laboratories, or similar State licensed practitioners of medical and healing arts.

284
285 Medical Testing Laboratory means a medical laboratory or clinical laboratory where tests are
286 performed on clinical specimens in order to obtain information about the health of a
287 patient as pertaining to the diagnosis, treatment, and prevention of disease.

288
289 * * *

290
291 Micro-Brewery means an establishment comprising less than 15,000 square feet that is licensed
292 by the Florida Department of Business and Professional Regulation, Division of
293 Alcoholic Beverages and Tobacco to manufacture malt beverages and may include a
294 tasting room and retail space to sell malt beverages produced on the premises along
295 with related retail items and food.

296
297 Micro-Winery means an establishment comprising less than 15,000 square feet that is licensed
298 by the Florida Department of Business and Professional Regulation, Division of
299 Alcoholic Beverages and Tobacco to produce wine and may include a tasting room and
300 retail space to sell wine produced on the premises along with related retail items and
301 food.

302
303 Minimum Lot Frontage means the minimum width of a lot where it adjoins a street; the
304 purpose of Minimum Lot Frontage is to prevent congestion by minimizing curb cuts,
305 providing for sufficient width for on-site parking.
306

307 Minimum Building Frontage means the minimum width of a building as measured along the
308 building's frontage to a road; Minimum Building Frontage is based on a percentage of
309 the subject lot's road frontage.
310

311 Mixed Use Building means a building where the ground floor is occupied by retail, service,
312 and/or office uses and the upper floors are occupied residential dwelling units or a
313 mixture of residential dwelling units and non-residential uses.
314

315 * * *

316
317 Monument Retail Sales means the retail sale of monuments and markers for placement on graves
318 and includes the sale, storage, and delivery of headstones, footstones, markers, statues,
319 obelisks, cornerstones, and ledgers.
320

321 * * *

322
323 Multi-Dwelling Residential Buildings means non-transient residential buildings consisting of two
324 or more dwelling units; Multi-Dwelling Residential Buildings includes condominium and
325 townhouse residential developments and specifically excludes institutional living
326 facilities providing 24-hour nursing or medical care and Detention Facilities.
327

328 Museum means an enclosed building in which objects of historical, scientific, artistic or cultural
329 interest are stored and exhibited.
330

331 * * *

332
333 Pawn Shop Services means an establishment lending money on the security of property pledged
334 in the keeping of the pawnbroker and the includes the incidental sale of property pledged
335 as security.
336

337 * * *

338
339 Personal Improvement Services means the provision of informational, instructional, personal
340 improvement, and similar services of a non-professional nature; Personal Improvement
341 Services includes photography studios, driving schools, health or physical fitness studios,
342 dance studios, and handicraft or hobby instruction.
343

344 Postal Facilities means facilities for the provision of postal services operated by the United
345 States Postal Service and includes post offices, bulk mail processing, and sorting centers.
346

347 Printing and Publishing means the bulk reproduction, printing, cutting, or binding of written or
348 graphic material.

349
350 Professional Office means an establishment for the provision of professional or consulting
351 services in the fields of law, architecture, design, engineering, accounting, or similar
352 professions.

353
354 Outside Home Equipment means tools and furnishings for home patio, pool, and lawns.

355
356 Recreational Equipment Maintenance and Storage means the maintenance, service, or storage of
357 sports equipment, watercraft, watercraft motors, trailers, motorcycles, or motor-homes.

358
359 Recreation, Sports, and Fitness, Indoor means recreational use conducted within an enclosed
360 building; Recreation, Sports, and Fitness, Indoor includes such activities as bowling
361 alleys, billiard parlors, ice and roller skating rinks, electronic video (non-gambling)
362 arcades, gymnastic instruction, indoor playgrounds, and indoor racquetball courts;
363 Recreation, Sports, and Fitness, Indoor does not include gambling facilities or adult
364 entertainment.

365 * * *

366
367
368 Religious Assembly means organized religious worship or religious education in a permanent or
369 temporary building; Religious Assembly does not include private primary or secondary
370 educational facilities, community recreational facilities or day care facilities; a religious
371 organization tax exemption shall constitute prima facie evidence of a religious assembly
372 use.

373
374 Residential Treatment Facility means a counseling or treatment center with 24-hour monitoring
375 and supervision; Residential Treatment Facility includes alcohol and chemical
376 dependency rehabilitation facilities, facilities to which persons convicted of alcohol or
377 drug-related offenses are ordered to remain under custodial supervision as a condition of
378 probation or parole, and residential care facilities and halfway houses for the emotionally
379 ill.

380
381 Restaurant means any establishment where food is served for consumption off the premises or
382 within an enclosed building. Outdoor seating areas in conjunction with the restaurant
383 shall be considered part of the restaurant.

384 * * *

385
386
387 School means institutions providing a full day program of academic classes, public or private.

388
389 Scientific Research Services means research of a scientific nature such as electronics research
390 laboratories, space research or development firms, and pharmaceutical research labs;
391 Scientific Research Services shall not include animal testing.

392

393 * * *

394

395 Skilled Nursing Facility means a facility for the provision of bed care and in-patient services for
 396 persons requiring regular medical attention; Skilled Nursing Facility does not include the
 397 provision of surgical or emergency medical services and the provision of care for
 398 alcoholism, drug addiction, mental disease, or communicable disease.
 399

400 Software Development means the development or testing of computer software and associated
 401 operating manuals.
 402

403 * * *

404

405 Telecommunication Tower means a structure built exclusively to support one or more antennae
 406 for receiving or transmitting electronic data or telephone communications.
 407

408 Theater means a site for presentation of plays, motion pictures, or other dramatic performances
 409 within a building; Theater does not include adult entertainment establishments.
 410

411 Thrift Store means a retail establishment that sells donated secondhand clothes and household
 412 goods.
 413

414 * * *

415

416 Transitional Housing means residential housing for the supervision or detention of residents who
 417 are making the transition from institutional to community living; Transitional Housing
 418 includes pre-parole detention facilities and halfway houses for juvenile delinquents and
 419 adult offenders, and overnight shelters for the homeless.
 420

421 * * *

422

423 Vehicle Storage means the overnight parking or storage of vehicles; Vehicle Storage includes
 424 storage of vehicles towed from private parking areas and impound yards; Vehicle Storage
 425 does not include dismantling and salvage, or storage of hobby or recreational vehicles.
 426

427 Vocational Rehabilitation Counseling means the counseling of persons with functional,
 428 psychological, developmental, cognitive and emotional impairments or health disabilities
 429 to overcome barriers to accessing, maintaining or returning to employment or other
 430 useful occupation; Vocational Rehabilitation Counseling does not include in-patient or
 431 overnight treatment.
 432

433 * * *

434

435 Warehouse Club means a membership retail store typically selling a wide variety of merchandise
 436 in which customers buy wholesale quantities of consumables.
 437

438 * * *

439

440 SECTION THREE. Chapter 134, "Zoning," Article IV, "District Regulations,"
441 Division 11, "Orange Avenue Zoning District" is hereby created as follows:

442 **Division 11. -Orange Avenue Zoning District.**

443 **Sec. 134-456 Intent and purpose.**

444 The underlying purpose in creating the Orange Avenue Zoning District centers on the public
445 health, safety and general welfare of the residents, business owners, and visitors to the city.
446 In order to achieve the highest standard of public health, safety and general welfare, the City
447 Council intends to:

448 (a) Provide a reliable development framework for public and private development
449 decision making that will lead to the desired land use character and improve property
450 values;

451 (b) Encourage redevelopment or reuse of the underutilized or poorly maintained
452 properties, recognizing Edgewood's advantage of accessibility to downtown Orlando,
453 the airport, the tourist area, and existing infrastructure;

454 (c) Create a sense of civic pride by establishing good order and appearance through
455 establishing uniform landscape and building placement and design guidelines;

456 (d) Recognize that the largest "open space" within the city is the Orange Avenue right-
457 of-way and the need to make this open space compatible with humans in addition to
458 vehicles;

459 (e) Protect the stability of the existing residential neighborhoods through design
460 guidelines and only allowing uses which are compatible with the intended
461 neighborhood character;

462 (f) Enliven the community by the requiring development designed to the human scale;

463 (g) Improve transportation efficiency in the city by encouraging alternative modes of
464 transportation, the creation of new travel patterns and live/work/play communities,
465 and the consolidation of vehicle access points along the major roads; and,

466 (h) Encourage a walkable community through the mix of uses and design to create
467 interest in walking, protecting pedestrians through design guidelines.

468 The district is intended to establish a land use pattern that includes creation of activity nodes,
469 where the primary focus is a high energy mix of live/work/play uses, around well-designed
470 public spaces, connected by corridors of new employment and multi-unit residential
471 buildings at an intensity less than the activity nodes. The parcel configuration along the
472 Orange Avenue corridor is well suited for this land use pattern, with the current shopping
473 centers (Fort Gatlin, Water's Edge, and Edgewood Isle) candidates for the activity nodes
474 given that their depth and area is sufficient to accommodate a significant redevelopment
475 effort, and the more shallow depth and individual ownership of parcels along the east and
476 west sides of the corridor for the less intense uses. Assemblages of parcels on the west side of
477 the corridor and a future commuter rail station location also have the potential for activity
478 nodes.

479 The development standards for both the activity nodes and the business/residential corridor
 480 are intended to foster Edgewood’s identity as a great “place.” Making a “place” is not the
 481 same as constructing a building, designing a plaza, or developing a commercial zone. It is a
 482 cohesive plan designed to serve people, with development at a human scale, with attention to
 483 function as well as form.

484 **Section 134-457. Permitted uses within the Edgewood Central District.**

485 The uses allowed within the Edgewood Central District shall be as follows (note, any use not
 486 specifically included herein as permitted or by special exception shall be prohibited):

487

Edgewood Central District Uses Permitted		
		P= Permitted
		S= Special Exception
		-- = Not Permitted
	*Any outdoor storage of company vehicles is limited by specific design standards contained herein regardless if not denoted in table.	
Neighborhood Shopping (Retail)		
	Automotive Parts and Accessories Stores, retail (excluding service and installation, and excluding tire dealers)	P
	Automotive Repair and Services	--
	Baked Goods Store, retail	P
	Beer, Wine, and Liquor, retail	P
	Boat and other motorized water craft dealers, Used	--
	Boat and other motorized water craft dealers, New	--
	Book Stores (New and Used)	P
	Building Materials/Home/Hardware Center, Retail only (outside storage or display allowed only when consistent with design standards stated herein)	P
	Clothing, Shoes, Accessories (New and Consignment) Stores in retail and Consignment Shops	P
	Clothing, Shoes, Accessories, home goods in Consignment Shops	P
	Clothing, Shoes, Accessories, home goods stores in Thrift Shop	--
	Confectionary and/or Nut Stores	P
	Convenience Stores with gas pumps	--
	Convenience Stores without gas pumps	P
	Cosmetics, Beauty Supplies, and Perfume Stores, retail	P
	Electronics Stores	P
	Fish and Seafood Market, retail	P
	Flea market, outdoor	--

	Floor Covering Stores, retail	P
	Florists, retail	P
	Food, specialty stores, retail	P
	Fruit and Vegetable Market retail, Indoor	P
	Fuel Dealers (heating oil, liquefied petroleum (LP) gas, and other fuels)	--
	Furniture Stores, retail	P
	Garden Center ¹	P
	Gasoline Stations	--
	Gift, Novelty and Souvenir Stores, retail	P
	Hardware Stores, retail ¹	P
	Health, Beauty, and Personal Care Stores (can include pharmacy, optician)	P
	Hobby, Toy, and Game Stores	P
	Home Furnishing Stores	P
	Household Appliance (New) Stores	P
	Jewelry Stores	P
	Luggage and Leather Goods Stores	P
	Meat Market, retail	P
	Marijuana, Non-medical sales	--
	Musical Instrument (sales, rental, service) and Supplies Stores	P
	Office Supplies and Stationery Stores	P
	Optical Goods Stores	P
	Outside Home Equipment merchandise, within enclosed building	P
	Paint and Wallpaper Stores	P
	Pet Supplies Stores	P
	Pharmacies	P
	Sewing/Needlework, Fabric, Craft Stores	P
	Seasonal holiday sales (e.g., Christmas trees, Halloween pumpkins, Independence Day fireworks)	--
	Specialty Food Stores	P
	Sporting Goods Stores	P
	Supermarket and Other Grocery Stores,	P
	Tire Dealers	--
	Tobacco and E-cigarettes/vape Shops	--
	Vehicle, Car, Motorcycle, ATV, and All Other Motor Vehicles, Dealers, New or used	--
	Recreational Vehicle Dealers including boat and other water craft, New or Used	--
	Warehouse Clubs	P
	Window Treatment Stores	P

Neighborhood Services		
	Car/Automotive Washing/Detailing, full service only ¹	P
	Banking, Commercial, does not include alternative financing services, drive up facilities are subject to design standards	P
	Banking, Credit Unions, drive up facility subject to design standards	P
	Banking, Savings Institutions, drive up facility subject to design standards	P
	Bar	P
	Barber Shop	P
	Beauty Salon	P
	Carpet and Upholstery cleaning	--
	Civic and Social Organizations	P
	Consumer Convenience Services, e.g. 24hr ATM/Banking Services, Mailbox/USPS stores; drive up facility subject to design standards	P
	Consumer Repair Services	P
	Convenience Storage, e.g. mini-warehouse	--
	Day care, child and adult	P
	Diet and Weight Reducing Centers	P
	Drop off box for charity goods, stand alone	--
	Exam Preparation and Tutoring	P
	Exterminating and Pest Control Services	--
	Fine Arts Schools	P
	Footwear and leather good repair	P
	Formal Wear and Costume Rental	P
	Funeral Services, excludes crematories	P
	Home garden equipment repair and maintenance	--
	Home appliance repair and maintenance	--
	Landscaping Equipment Storage	--
	Laundry, coin operated	--
	Laundry, dry cleaners (drop off only)	P
	Libraries (public)	P
	Locksmiths	P
	Massage Therapist	P
	Medical Offices	P
	Nail Salon	P
	Optometrist/Optician	P
	Personal Improvement Services	P
	Pet Services, without parking of mobile trucks (e.g. grooming, dog training)	P
	Pet kennels and day care indoor runs	P

	only	
	Pet kennels and day care outdoor runs	S
	Pet, Veterinarian Services	P
	Religious Assembly	S
	Restaurant, snack and nonalcoholic drink bars, including coffee shops	P
	Restaurants, Fast food; drive up windows subject to design standards	P
	Restaurants, Full Service (includes grills, cafeterias, buffets)	P
	Seamstress/Tailor	P
	Shipping, postal, printing and business service centers, retail	P
	Adult Entertainment per Chapter 34, Article V	--
	Art Gallery	P
	Club or Lodge	P
	Community Centers	P
	Dance Instruction	P
	Gambling establishments including casinos and internet cafés	--
	Museums	P
	Parks and Playgrounds	P
	Performing Arts companies	P
	Recreation, Sports and Fitness, indoor	P
	Recreation, Sports and Fitness, outdoor except public parks and playgrounds or facilities accessory to an on-site residential use	--
	Recreational Equipment Maintenance and Storage	--
	Theaters, motion picture/live performance, except drive-ins and adult entertainment	P
	Zoos	--
Edgewood Central District Employment		
Accommodation		
	Hotels with structured or shared parking	P
	Motels	--
	RV parks and campgrounds	--
	Rooming and boarding houses	--
Administration/Business Support		
	Building Maintenance Services	--
	Business services such as copy shops	P
	Carpet and upholstering cleaning services	--
	Court Reporting and Stenotype Services	P
	Employment Placement Agencies	P

	except for day labor pool offices	
	Exterminating and Pest Control Services	--
	Industrial launderers	--
	Landscape equipment storage	--
	Linen Supply	--
	Office Administrative Services	P
	Packaging and labeling Services, Retail	P
	Professional Employer Organizations	P
	Real Estate Training	P
	Security Systems Services	P
	Telemarketing	P
	Telephone Answering Services	P
	Tour Operators, without fleet storage	P
	Travel Agencies	P
Agriculture		
	Agriculture	--
	Cannabis farm	--
Automotive		
	Automotive body, paint, and interior repair and maintenance	--
	Automotive glass replacement	--
	Automotive oil change and lubrication	--
	Automotive Repair and Service	--
	Automotive Sales (new or used)	--
	Automotive washing/detailing ¹ , full service only	P
	Parking lots not incidental to primary use onsite	--
	Wrecker, Towing, and Vehicle Recovery Services	--
	Vehicle Storage	--
Construction		
	Building material storage, non-retail	--
	Construction Equipment Sales and Services	--
	Construction and Remodel Design Office	P
Food Services		
	Caterers	P
	Vending Machine Operators	--
Education		
	Driving schools for passenger vehicles only, no courses or vehicle fleet	P
	Business, Vocational, Trade schools, including Cosmetology and Barber Schools	S
	Colleges and Universities	S
	Elementary and Secondary Schools	S

Electronic		
	Commercial and industrial machinery and equipment repair and maintenance	--
	Consumer electronics and communication equipment repair and maintenance, retail	P
	Electronics Testing	--
	Heating and A/C Service	--
Finance and Insurance		
	Credit Card Issuing	P
	Mortgage Brokers	P
	Security Brokerage	P
	Investment Advice, including trust, fiduciary and custody activities	P
	Insurance carriers	P
Health Care and Social Service		
	Ambulance services	--
	Assisted living facilities	S
	Blood, cryo, and organ banks (subject to company vehicle conditions contained herein)	P
	Community food services	--
	Continuing Care Retirement Communities	S
	Diagnostic imaging centers	P
	Emergency Relief Services	--
	Freestanding ambulatory surgical and emergency centers	P
	Home health care services, administration only	P
	Hospitals, general medical and surgical	S
	Kidney Dialysis Centers	P
	Medical laboratories	P
	Skilled nursing facilities (24-hour care)	S
	Pain management clinics	--
	Physical, Occupational, Speech therapists and audiologists	P
	Residential Treatment Facility, Inpatient or Outpatient	--
	Social Service offices, administration only	P
	Social Advocacy organizations, administration only	P
	Temporary shelters	--
	Transitional housing	--
	Vocational rehabilitation counseling	P
Information		
	Motion picture and video production	P
	Music publishers	P

	Printing and Publishing	P
	Software development	P
	Sound recording studios	P
	Communication services, indoor, without antennae or satellite dish	P
	Telecommunications towers and facilities consistent with Article VI, Edgewood Code	S
Manufacturing		
	Art workshop	P
	Craft breweries, distilleries, wineries, coffee roasters, must include a retail and/or restaurant component. ¹	P
	Artisan food production (e.g., candy, pasta), must include a retail and/or restaurant component ¹	P
	Monument Sales	--
	Re-upholsterer and furniture repair	P
	Other Manufacturing	--
Mining		
	Mining	--
Professional, Scientific and Technical Services		
	Accounting/CPA	P
	Advertising Agencies	P
	Agents and managers for artists, athletes, entertainers	P
	Architectural Services	P
	Building Inspection Services	P
	Computer Systems Design Services	P
	Custom Computer Programming Services	P
	Direct Mail Advertising	P
	Drafting services	P
	Engineering services	P
	Environmental Consulting Services	P
	Graphic Design Services	P
	Human Resources Consulting Services	P
	Industrial Design Services	P
	Interior Design Services	P
	Investigation Services	P
	Land Planning Services	P
	Landscape Architects	P
	Lawyers	P
	Management Consulting Services	P
	Market Research and Public Opinion Polling	P
	Marketing Consulting Services	P
	Media Buying Agencies	P
	Notaries	P

	Photography Studios	P
	Process, Physical Distribution, and Logistics Consulting Services	P
	Promoters of Performing Arts, Sports, and Similar Events without facilities	P
	Public Relations Agencies	P
	Scientific Research Services, indoor only	S
	Surveying and Mapping services	P
	Tax preparation service	P
	Title abstract and settlement offices	P
	Translation and Interpretation Service	P
	Other similar professional offices with Council approval	P
Real Estate Rental and Leasing		
	Property Managers	P
	Real Estate Agents and Brokers	P
	Real Estate Appraisers	P
Merchandise/Equipment Rental and Leasing		
	Construction and industrial machinery and equipment rental and leasing	--
	Consumer Electronics and Appliance Rental	--
	General rental centers	--
	Home equipment rental	--
	Office machinery and equipment rental and leasing	--
	Non-vehicular recreational goods rental	--
	Automotive rental or leasing, all (including but not limited to passenger, truck, utility trailer, recreational vehicles), does not include passenger vehicle rental agency	--
	Passenger vehicle rental agency Urban Prototype ¹	P
Transportation		
	Courier and Express Delivery Service without fleet storage	P
	Electronic/Mail Order Shopping/Order taking	P
	Freight companies, dispatch only no storage of vehicles	P
	Local messenger and local delivery service, no fleet parking	P
	Moving companies, dispatch only no storage of vehicles	P
	Taxi, pedicab, and limo service, dispatch only no storage of vehicles	P

	Vehicle towing	--
	Vehicle storage	--
Warehousing		
	Warehousing and storage (except as allowed with artisan manufacturing and production)	--
	Warehousing, mini/personal storage	--
Waste Collection and Disposal		
	Hazardous Waste Collection	--
	Hazardous Waste treatment and disposal	--
	Materials Recovery facilities	--
	Remediation services	--
	Scrap and Salvage Services	--
	Septic Tank and Portable Toilets Related Services	--
	Solid Waste Collection	--
	Solid waste combustors and incinerators	--
	Solid waste landfill	--
Wholesale trade		
	Micro-brewery, craft distillery, micro winery (requires retail component) ¹	P
	Art Workshop (requires retail component)	P
	Wholesale Trade except as allowed in Artisan Food/Product Manufacturing	--
Other		
	Adult Establishments as stated in Chapter 34, Article V	--
	Alternative financial services such as check cashing, payday advance or similar businesses	--
	Auction	--
	Bail Bonds Services	--
	Crematory	--
	Day labor pool offices	--
	Manufactured/Mobile Home Dealers	--
	Fortunetelling	--
	Heavy Equipment Sales, Repairs and serving	--
	Pawn Shop services	--
	Tattoo and/or body piercing	--
	Other uses which are similar or compatible to the uses permitted herein, which would promote the intent and purposes of this district; determination made by authority of city council, without public notice or public hearing. Approval may include	P

	conditions, restrictions or requirement for Special Exception processing.	
Edgewood Central District Residential		
	Assisted living facilities	S
	Detention facilities, jails, or other similar uses	--
	Multi-Dwelling Residential Buildings when included as one component of a mixed use master development plan submitted with the application, either horizontal or vertical mix, (minimum 3 uses, e.g., office, retail and residential)	P
	Residential dwellings above first floor non-residential	P
	Multi-Dwelling Residential Buildings (not mixed use)	S
	Single family dwellings (conventional or manufactured)	--
	Homeless, runaway, emergency shelters	--
Edgewood Central District Public/Quasi Public/Government Administration/Infrastructure		
	Government Administration	P
	Cemetery	--
	Community Events	P
	Major Utility Facilities	S
	Postal Facilities, subject to company vehicle conditions	P
	Power Generation and Distribution	S
	Telecommunications towers and facilities located on private property.	--

488 Footnotes: ¹ Specific design standards apply

489

490 **Sec. 134-458. Site Design**

491 (a) The goal of these building placement standards is to avoid large expanses of paved areas
 492 adjacent to the road and to frame the largest open space area in the city with buildings
 493 and green space. In addition, these standards provide for pedestrian safety as well as
 494 health benefits.

495 (b) For the purpose of design and review, the development site consists of two areas: the
 496 Road View Area and the Rear Area. The Road View Area shall consist of the front 100
 497 feet of the property, and the Rear Area shall consist of the remainder of the property.

498 (c) Minimum Lot Width.

499 (1) Non-corner lots within the Edgewood Central District shall have a minimum lot width
 500 of 80 feet.

501 (2) Corner lots within the Edgewood Central District shall have a minimum lot width of
 502 100 feet.

503 (d) Maximum Allowed Impervious Surface Ratio.

504 Except as otherwise provided herein, the maximum allowed impervious surface ratio of
 505 any lot shall be 60%.

506 (e) Minimum Percentage of Lot Width Occupied by Building.

507 Buildings located within the Road View Area shall meet the following building façade
 508 width to lot width ratio.

509

<i>Lot Width</i>	<i>Minimum % of Lot Width occupied by Building Façade</i>
<i>< 100</i>	<i>50</i>
<i>100 < 150</i>	<i>60</i>
<i>150 +</i>	<i>70</i>

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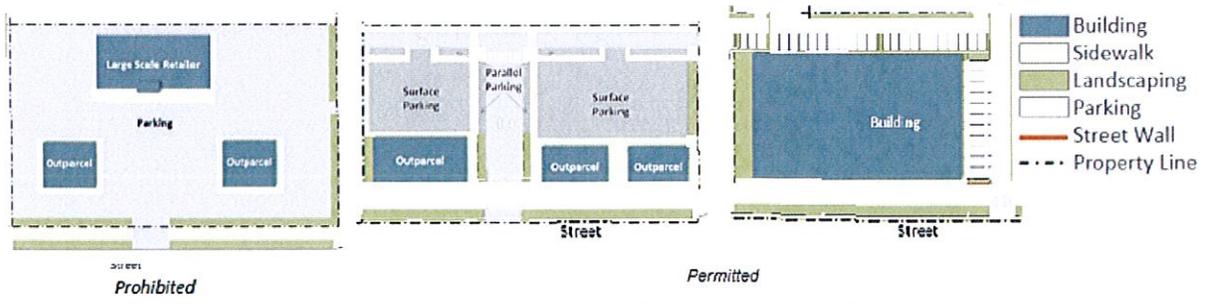
511 For the purpose of this standard, the following features shall be included in the
 512 calculation of Building Façade Width:

513 (1) Uncovered recessed courtyards between portions of the building, provided that the
 514 width of such courtyards shall not be more than 50% of the total building frontage
 515 and that the courtyard is paved and enhanced with landscaping;

516 (2) Outdoor seating areas located on the sides of a building, provided that such seating
 517 areas are less than 30% of the actual building frontage width;

518 (3) Pedestrian access ways to rear parking areas, provided such pedestrian access ways
 519 are located between buildings and not adjacent to driveways; and

520 (4) A gallery-type of building with the use of columns to create a covered arcade, with
 521 upper stories above the arcade provided a minimum 13-foot ground clearance in the
 522 arcade is provided.



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(f) Building Placement.

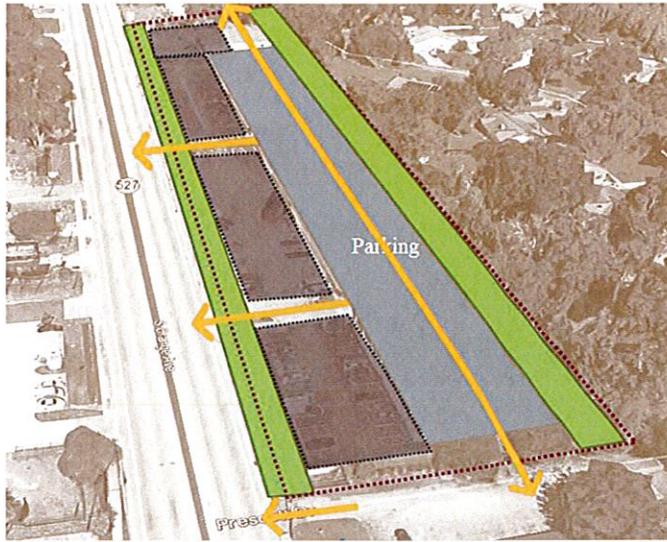
(1) Building Placement Applicable to All Development

a. Minimum Rear Yard/Rear Building Setback Width and Use.

Buildings shall be setback a minimum of 30 feet from the rear property line. In addition, the rear yard of properties located between Holden Avenue and Stratemeyer Drive on the west side of Orange Avenue and those between Lake Jennie Jewel and Lake Conway Drive on the east side of Orange Avenue shall be maintained open for the cross access easement required by Section 134-142. The cross access easement shall include two, 11-foot wide lanes and a 5-foot wide pervious strip placed abutting the rear property line, with the pervious strip along the property line. Achievement of cross access on properties outside the above identified areas will be reviewed during the site plan approval process.



West Side Designated Parcels



East Side Designated Parcels

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554

b. Minimum Side Yard/Building Setback Width and Use

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1. The minimum side building setback is zero unless adjacent to a single family residential district or abutting a side street or natural surface water body. If zero setback is used, a plan for side building maintenance shall be presented with the development application. Coordinated stormwater management is encouraged.

560

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2. The minimum side building setback for properties abutting a single family residential district shall be 25 feet.

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3. On lots abutting a side street, development within the side yard shall conform to the Road View site standards: Store Front, Pedestrian Path, and Tree/Furnishing Areas.

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4. Buildings shall be setback from every natural surface water body a minimum of 50 feet, measured from the normal high water elevation.

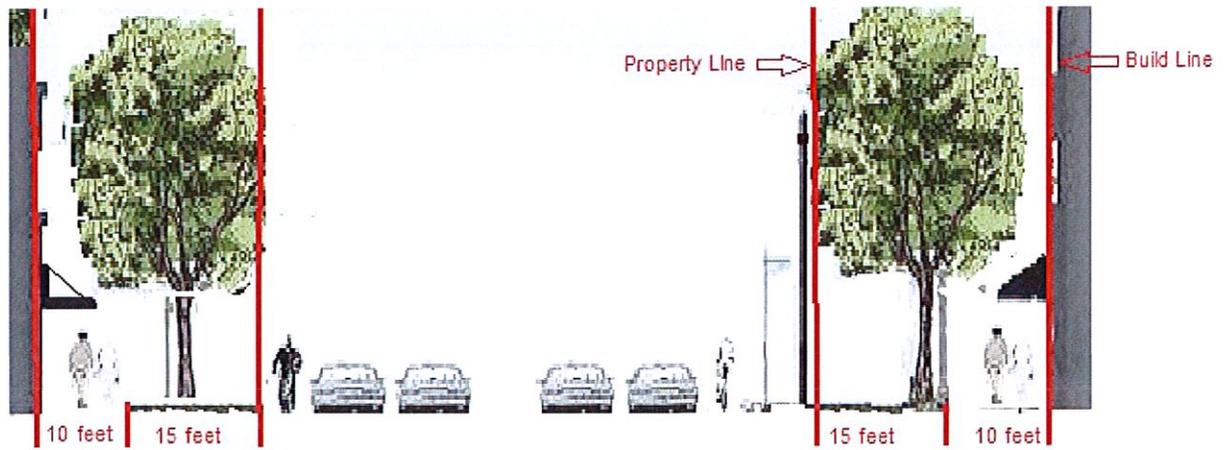
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(2) Building Placement in the Road View Area:

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a. The front elevation of all buildings located within the Road View Area shall be built at a build-to line, the Build Line, located 25 feet from the front property line.



570

571 b. Provided that buildings consistent with the provisions of this Ordinance are
 572 constructed within the Road View Area, such buildings may extend into the Rear
 573 Area of the property and separate buildings complying with all other site
 574 standards and regulations may be constructed in the Rear Area of the Property.

575 (3) Rear Building Alternative.

576 Site plan approval may be granted for development where all buildings are located
 577 outside of the Road View Area only when the followings standards are met.

- 578 a. Lot depth must permit the buildings to be located entirely outside of the Road
 579 View Area and meet all required setbacks.
- 580 b. The site plan application must show how the proposed development patter
 581 satisfies the intent and purposes of the Edgewood Central District.
- 582 c. Conformance with the Pedestrian Area and Tree/Furnishings/Sign Zone must be
 583 met.
- 584 d. No stormwater management shall be located within the Road View Area.

585 (g) Pedestrian Path Area.

586 (1) The Pedestrian Path Area shall be located along the front property line of the property
 587 and extend 15 feet inward toward the Build Line.

588 (2) The Pedestrian Path Area shall be kept clear of obstacles and changes to cross-slopes,
 589 including driveway aprons.

590 (3) A sidewalk 10 feet in width shall be constructed within the Pedestrian Path Area.

591 (4) The sidewalk shall be connected to the sidewalks on adjacent properties. If the
 592 adjacent parcel has yet to redevelop in accordance with these district regulations,
 593 transition between the sidewalk in the Pedestrian Path Area and existing off-site
 594 sidewalk will be required.

595 (5) For consistency throughout the district, the sidewalk surface shall be natural colored
 596 cement constructed in accordance with Section 126-398 of the city’s code.

597 (6) The sidewalk shall be pitched toward the Tree/Furnishings/Sign Zone.

598 (7) The property owner shall dedicate to the City and record in Orange County Official
599 Records a non-exclusive pedestrian easement over the Pedestrian Path. It shall be the
600 property owners' responsibility to ensure proper maintenance of the sidewalks.

601 (8) The city will endeavor to work with FDOT to remove any existing sidewalks within
602 the right-of-way once the sidewalk within the Pedestrian Zone is constructed.

603 (9) In addition to the sidewalk, the following improvements shall be allowed within the
604 Pedestrian Path Zone.

605 a. Building mounted and/or cantilevered architectural building elements such as
606 awnings and canopies meeting the following requirements:

607 1. Hung 13 to 15 feet above the adjacent sidewalk grade;

608 2. Extending 2 to 8 feet from the wall;

609 3. A clear height distance of at least 80 inches, as required by accessibility
610 standards;

611 b. Bay windows with a maximum width of 8 feet not extending greater than 18
612 inches from the building wall;

613 c. Articulated wall projections of a minimum depth of 1-foot and maximum 1.5 feet
614 and 4 feet in length;

615 d. Attached Signs, as provided in Chapter 122 of this Code of Ordinances; and

616 e. One Temporary Sign no taller than 36 inches and no wider than 24 inches that
617 does not block or impair pedestrian traffic and is displayed only during the
618 business hours of any business located on the property.

619 (h) Tree/Furnishings/Sign Area

620 (1) The Tree/Furnishings/Sign Area shall be located along the inward boundary of the
621 Pedestrian Path Area and extend ten feet toward the Build Line.

622 (2) Trees shall be provided in the Tree/Furnishings/Sign Area according to the following
623 standards; provided, however, alternative species may be approved during the site plan
624 review process when the proposed species of tree can fulfill the intended design intent,
625 and at the same time achieve full growth and form. Alternating more than two species is
626 strongly discouraged as it will detract from the goal of a recognizable, cohesive
627 development pattern:

628 a. Tree Choice:

629

<u>Street Trees</u>	<u>Characteristics</u>	<u>Minimum Requirements</u>
<u>Highrise Live Oak</u> <u>Quercus virginiana</u>	<u>Once established, Live Oak will thrive in almost any location including narrow spaces and sidewalk to street applications</u>	<u>Minimum 5"</u> <u>caliper (16-18</u> <u>foot tall)</u>

	<u>Once established a live oak will grow about 2-4 feet and 1 inch of caliper per year.</u> <u>Semi-evergreen</u> <u>Mature Height: 30-40'</u> <u>Mature Spread: 16-25'</u>	
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630 b. Tree Location:

631

<u>Street Tree Standards (as measured to center of tree)</u>	
	<u>Large Stature Shade Trees</u>
<u>On-center spacing*</u>	<u>25 feet</u>
<u>Offset from Sidewalk</u>	<u>Minimum 2'-6"</u>
<u>Offset (Horizontal) from Overhead Wires Utility Pole (as measured from the center of the pole)</u>	<u>Minimum 12.5'-0"</u>
<u>Offset from Underground Utilities</u>	<u>10'-0"</u>
<u>Offset from Light Poles</u>	<u>15'-0"</u>
<u>Offset from Driveways, Fire Hydrants</u>	<u>10'-0"</u>
<u>*Staff has the ability to modify on-center spacing to allow conformance with the remaining spacing standards.</u>	

632

633 (3) Trees shall be planted in a shallow pervious swale (no pervious pavers) comprising at
634 least 100 square feet, that will ensure the capture of rainwater and runoff in order to
635 promote deep root growth.

636 (4) Tree limbs must be maintained to hang no lower than 13 feet above any public street,
637 alleyway, driveway, and no less than 8 feet over sidewalks.

638 (5) In addition to street trees, street furnishings, including, but not limited to, seating,
639 lighting, bike racks, and public art may be allowed within the Tree/Furnishings Area
640 subject to site plan approval.

641 (6) All street furnishings shall be permanently fixed to the ground through mechanical
642 fasteners or through the use of concrete footings.

643 (7) Unless specifically approved through the site plan review process, all street furnishing
644 shall have a black finish.

645 (8) Details for all furnishings, including specifications, installation, colors and material
646 shall be provided as part of the site plan review process.

647 (9) Any unpaved area in the Tree/Furnishings/Sign Area shall be planted with a low-
648 maintenance, drought tolerant ground cover.

649 (10) If pavement is used within the Tree/Furnishings/Sign Area, ADA compliant
650 pervious pavers shall be used to promote the survival of the trees and other landscaping.
651 Pavement differentiation from the sidewalk is also encouraged to indicate that the
652 Tree/Furnishings/Sign zone is a place separate from the location of through pedestrian
653 travel.

654 (11) Pedestrian lighting is required to be placed every 50 feet on center. Developers shall
655 work with the local energy provider to obtain a street lights which are Dark Sky
656 compliant, i.e., a fixture designed to reduce the amount of light pollution by emitting no
657 light above the horizontal plane (“90°” line) above the luminaire.

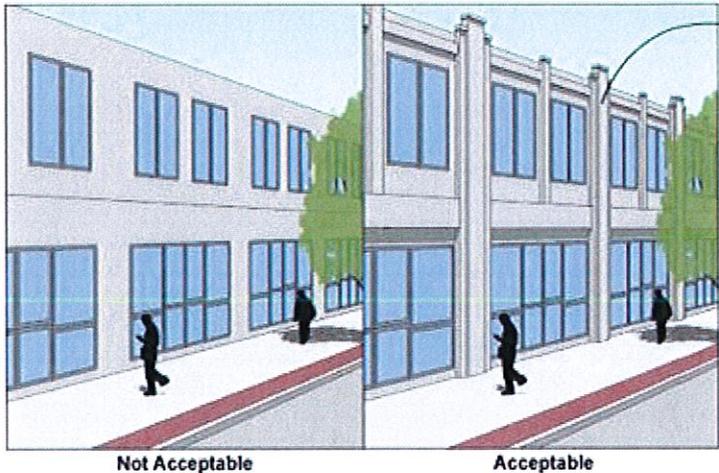
658 (12) Stormwater management may be allowed to be aesthetically incorporated into the
659 Tree/Furnishings Area, subject to site plan approval. The design of such incorporation
660 shall demonstrate that there will be no adverse impacts to the street trees.

661 (13) Ground Signs shall be allowed to be placed within the Tree/Furnishings/Sign Area
662 provided such signs comply with all other provisions of the City Code.

663 Sec. 134.459. Building Design.

664 The intent of these design standards is to avoid long uninterrupted, monolithic appearance of
665 façade planes, thus enhancing the visual appearance of development within the City and
666 creating a human scale building, which in turn encourages pedestrian activity. The façade
667 design is intended to give the appearance of a series of buildings having varied sizes and
668 volumes vs. a single massive structure.

- 669 (a) Design of Buildings within the Road View Portion of the Site
- 670 (1) Primary Entrance: The building façade facing the road shall include a primary
 671 entrance to the building. This entrance can be placed at an angle not more than 45
 672 degrees to the road if oriented to a road intersection.
- 673 (2) First Floor Façade Transparency: At least 60% of the width of the ground floor road
 674 frontage façade shall contain clear (transparent) or spectrally selective glazings
 675 (minimum VLT of 60%) considered as “non-reflective” glass. This requirement
 676 includes doors and windows affording views into the interior areas. Opaque,
 677 translucent or reflective glass cannot be counted towards the transparency ratio.
 678 Window placement shall be incorporated to create a horizontal and/or vertical
 679 rhythm. Windows shall not be covered during opening hours of the business to
 680 encourage pedestrian interest. The windows are encouraged to be full height of the
 681 ground floor, but in no instance shall the sill be more than 3 feet above grade, with
 682 the window height extending to at least the top height of the primary entrance door.
- 683 (3) Facade Horizontal Variation: Building façade design shall vary horizontally at least
 684 every 40 feet by incorporating two or more of the following techniques:
- 685 a. Articulation (wall projections or recesses) of a minimum of 1-foot depth and 4
 686 feet in width, for the full height of the building. A wall projection less than or
 687 equal to 18 inches is allowed to extend into Pedestrian Path Zone.



Buildings must provide visual interest using facade articulation, breaks, columns, height changes, or changes in color, texture, or pattern

688

- 689 b. A full height material change: e.g., stucco to brick with varying roof heights
690 (paint color is not considered a material change).
- 691 c. Full height wall recesses of up to 4 feet in depth, and maximum 40 feet in length
692 with varying roof height.
- 693 d. Non-continuous cantilevered window treatments every 40 feet, occupying 50-
694 70% of the building's length, placed 13-15 feet above the adjacent sidewalk
695 grade, with a minimum 8 feet clear height.
- 696 (4) Building Height: The minimum building height shall be 20 feet. For multi-story
697 buildings, except for stand-alone residential uses, the finished first floor shall be a
698 minimum of 13 feet in height and at least 8 feet in height for every story above the
699 first.
- 700 a. Maximum building height shall be as follows:
- 701 1. Outside an Activity Node: 4 stories/55 feet unless within 100 feet of a single
702 family zoning district, then 3 stories/45 feet.
- 703 2. Inside an Activity Node: 6 stories/75 feet.
- 704 b. Façade Vertical Variation: A building height greater than 20 feet, regardless of
705 the number of stories, shall include a 3-dimensional horizontal change at least 12
706 inches in height across at least 75% of the building, placed between 13 to 15 feet
707 above ground to ensure a human scale, e.g., a material or texture change, or a
708 building offset (building step back or step forward). The use of banding
709 (continuous horizontal stripes) across large areas of the façade is prohibited. An
710 alternative to this standard is a building mounted and/or cantilevered architectural
711 building elements such as awnings and canopies meeting the following
712 requirements:
- 713 1. Hung 13 to 15 feet above the adjacent sidewalk grade.
- 714 2. Extending 2 to 8 feet from the wall.
- 715 3. A clear height distance of at least 80 inches, as required by accessibility
716 standards.
- 717 4. Occupying a total of 50-70 percent of the length of the building façade.
- 718 (5) Decorative Elements: Decorative architectural appendages, embellishments and other
719 architectural features are required. Subject to site plan approval, such architectural
720 appendages, embellishments and other architectural features may extend up to 8 feet
721 beyond the maximum building height provided such appendages are no more than
722 30% of the building roof length and area and are compatible with adjacent
723 development. Such appendages and architectural embellishments shall be
724 strategically located to draw customers to the primary entrance of the building and or
725 highlight pedestrian passages between buildings.
- 726 (6) Roof Lines: Roof lines shall be varied with a change in height at least every 80 linear
727 feet in building length. A 3-dimensional cornice, at least 2.5 feet in height or as
728 needed to conceal mechanical equipment (whichever is taller), shall be used along all

729 flat (less than 3:12 pitch) or parapet roof portions. Sloped building roofs shall have a
730 minimum 2-foot over hang and include a gutter/downspout system. This roof
731 overhang can extend into the Pedestrian Path Zone.

732 (7) Blank Wall Design: Blank walls facing a street that are 10 feet in length or greater
733 shall incorporate one or more of the following design treatments so as to eliminate
734 blank walls more than 10 feet in length:

735 a. Design Treatment 1: Evergreen vine wall (trellis or wire/vine system) of at least 5
736 feet in width, contained within a 3 feet minimum width planting bed, in front of
737 the wall, at least 13 feet high placed every 10 feet on center along length of the
738 blank wall surface, with each bed irrigated and planted with climbing vines
739 sufficient to cover the trellis within 3 years;

740 b. Design Treatment 2: Small trees (non-palm) of at least 16 feet in height at
741 maturity, planted at a rate of 1 tree for each 15 feet (or part thereof) of blank wall
742 (minimum one tree), with tree height of at least 5 feet at planting, planted at least
743 3 feet away from the wall, within a planting bed of at least eight feet in width;
744 plus, a hedge of plants the length of the wall that creates a depth of at least 5 feet
745 and maintained at a height at least 3 feet in height;

746 c. Design Treatment 3: Variety or decorative masonry pattern of at least 2 types of
747 materials, color, texture, or architectural feature (such as accents and relief
748 artwork), of which the contiguous surface length equals at least 50% of the blank
749 wall surface area; and

750 d. Design Treatment 4: Wall signage of at least 6 feet in length and four feet in
751 height, limited by total sign area allowed by City code.

752 Design Treatments 1 and 2 are only available for use in the Rear portion of the site
753 due to the requirement that the sidewalk in the Pedestrian Path abuts the Build Line;
754 i.e., landscape area not available for plantings

755 In no case shall a blank wall with these treatments exceed 40 feet in length. A blank
756 wall area means a portion of the exterior facade of the building that does not include
757 windows or doors; or columns, pilasters or other articulation greater than 18 inches in
758 depth). The Blank Wall standard applies to first and upper stories of street-facing
759 facades.

760 (8) Secondary façades, facades not facing a road but within public view, shall be of
761 finished quality, color, and materials that blend with the remainder of road frontage
762 façade. Major architectural treatments on the road frontage building façade, such as
763 cornices, window treatments, and repeating details, shall be continued around all
764 sides of the building that will be visible to the public, which would include all facades
765 of outparcel buildings.

766 (b) Design of Buildings outside the Road View Portion of the Site

767 Buildings outside the Road View portion of the site shall meet the same design
768 standards for buildings in the Road View portion of the site with the exception of

769 façade transparency. At least 30% of the front façade of buildings located outside the
770 Road View portion of the site shall be devoted to transparent windows and/or glass
771 doors affording some view into the interior areas. Blank walls are encouraged to be
772 creatively designed to create an illusion of transparency.

773

774 **Sec. 134-460. Other Design Standards**

775 (a) Stormwater Management

776 Developers are strongly encouraged to create/connect to a shared stormwater system
777 rather than providing individual on-site facilities. Until such time as a shared system
778 is available, development is subject to the following requirements:

779 (1) Stormwater management shall be incorporated into the overall design of the
780 project so as to be a creative feature/amenity of the development or
781 incorporated into the landscape irrigation system.

782 (2) Except if designed as an exfiltration system, stormwater management shall
783 only be located behind the Road View portion of the site or, if approved
784 during site plan review, where aesthetically incorporated into the
785 Tree/Furnishings and Store Front Area.

786 (3) Pond edges should be sloped so as to avoid the necessity of fencing. Where
787 slopes require fencing, only black, ornamental fencing will be allowed.

788 (4) The use of innovative stormwater management methods is encouraged such as
789 green roofs, bio retention areas such as the use of deep gardens and planters,
790 infiltration, permeable paving in parking stalls, cisterns incorporated into the
791 building architecture with the water reused for landscaping.

792 (b) Service Areas

793 (1) A trash/waste collection area shall be totally screened by walls with an
794 opaque low maintenance gate. In no case shall the trash collection area be
795 located within 50 feet of a single family residential lot, nor located forward
796 of the rear façade of a Road View building. To the extent possible, the trash
797 collection area, shall be incorporated into the primary building design.

798 (2) Loading areas, satellite dishes, truck parking, and other service support
799 equipment shall be designed to that they cannot be seen from the street and
800 any adjacent single-family properties.

801 (3) Mechanical equipment shall be integrated into the overall mass of a building
802 by screening it behind parapets or by recessing equipment into hips, gables,
803 parapets, or similar features.

804 (c) Fences

805 (1) With the exception of decorative railings within the Store Front zone, fences
806 shall not be allowed in front of the line formed by the rear façade the
807 rearmost building within the Road View Area extended across the property.

808 (2) Fences shall not create a barrier cross access easements nor the connection
809 of cross access easements to public roads.

810 (3) Maximum height of fences anywhere in the district shall be 48 inches.

811 (d) Corner Sight Clearance Triangle

812 The Corner Triangle, measured as 25 feet along the road curb in each direction with
813 the outer points connected by a straight line, shall be kept clear of all obstructions,
814 including, but not limited to, trees and street furnishings.

815 (e) Underground Utility Installation

816 (1) It is the intent of the city to improve the aesthetic appeal of the city and the
817 reliability of utility service by requiring that utility lines such as electric,
818 telephone, cable TV, fiber optics and other utilities be placed underground in
819 conjunction with the construction of all new buildings, unless it is
820 determined by the City Council that soil, topographical or any other
821 compelling conditions make the installation of such utility lines as
822 prescribed herein unreasonable or impracticable. It shall be the developer's
823 responsibility to make the necessary arrangements with each utility in
824 accordance with the utility's established policies.

825 (2) The underground installation of incidental appurtenances such as
826 transformer boxes, pedestal-mounted terminal boxes for electricity, or
827 similar service hardware necessary for the provision of electric and
828 communication utilities shall not be required.

829 (3) Below ground installation shall not normally be required for bulk electric
830 power supply lines and communication major feeder lines. Nothing in this
831 section shall be construed to prohibit any entity furnishing utility service
832 within the city from collecting, as a condition precedent to the installation of
833 service facilities, any fee, prepayment or contribution in aid of construction
834 which may be required.

835 (f) Access/Parking Design

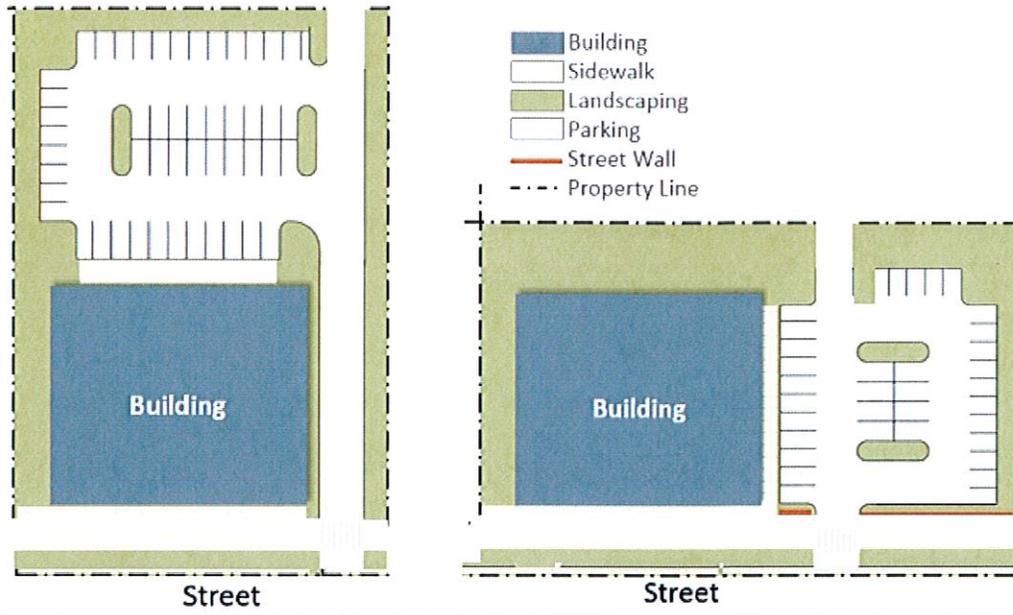
836 (1) Direct vehicular ingress and egress connections will be prohibited along Orange
837 Avenue and Hansel Avenue when the city determines that adequate access can be
838 provided from another location, including a side street or an existing available shared
839 driveway.

840 (2) Driveways shall be designed with the pedestrian in mind. This includes provision of
841 at least a 4 feet sidewalk and a minimum 3 feet wide tree zone, between the sidewalk
842 and driveway, on both sides of a driveway connected to a public right-of-way for at
843 least the length of the building, to give the appearance of a roadway.

844 (3) The edge of the driveway adjacent to the tree zone shall be curbed.

845 (4) The preferred location for surface parking lots is behind all buildings located in the
846 Road View Area in order to maximize the building's road frontage and pedestrian
847 interest along the road corridor. Parking lots are allowed to be located on the side of

848 a building, behind an extension of a building's front façade, provided the minimum
 849 building frontage percentage is maintained. Pedestrian connections from the parking
 850 areas to the public building entrance shall be provided.



- 851
- 852
- 853 (5) If a parking lot is provided on the side of a building, the vehicular area shall be
 854 screened from the road by a street wall, which is intended to screen the vehicle use
 855 area and ensure that lights from parked vehicles do not shine into the right-of-way or
 856 adjacent pedestrian way. The street wall shall be 3 feet in height above grade of the
 857 parking lot. Street walls shall be constructed of materials that complement the finish
 858 on the primary building. Chain link, wood and PVC street walls shall be prohibited.
 859 The street wall shall be placed at 4 feet behind the Build Line, with landscaping
 860 planted between the wall and the sidewalk within the Pedestrian Path zone Such
 861 landscaping shall contain a continuous hedge of shrubs at least 30 inches high at
 862 planting of a species capable of growing to 36 inches in height within 18 months. The
 863 minimum height that the hedge shall be maintained is 24 inches, with the maximum
 864 equal to the height of the wall. If the street wall exceeds 40 feet in length, columns
 865 will be required to be incorporated into the wall at a maximum of 20 feet on center,
 866 with a shade tree, in addition to the hedge requirement, planted at a rate of one tree/20
 867 feet, or portion thereof, of wall.
- 868 (6) Inclusion of the Tree/Furnishings/Sign Area and Pedestrian Path Area are required
 869 between the surface parking and right-of-way. All surface parking lots shall be
 870 landscaped consistent with city code standards.
- 871 (7) Parking structures shall reflect the character, scale and massing of the principal
 872 structures they serve and shall not be located along the road frontage or within 100
 873 feet from any property used for single family residential uses without a liner building
 874 containing businesses and/or residential uses, or a façade designed to resemble a
 875 building conforming to the building design standards of the district. Where located

876 along a road frontage, the Pedestrian Path and Tree/Furnishings/Sign Zones shall be
877 provided. Where within one hundred feet of a property used for single family
878 residential uses, one evergreen, shade tree shall be planted along the shared property
879 line of those single family lots, at 50-foot on center intervals. The chosen species of
880 such trees shall be capable of reaching a minimum mature height of 50 feet, with a
881 minimum mature spread of 40; with a caliper of 3.5 inches diameter at breast height
882 (dbh). All internal elements such as plumbing pipes, fans, ducts and lighting, shall be
883 screened from view from the street. Ramping shall be internalized. Exposed spandrels
884 shall be prohibited.

885 (8) When any land or building accommodates 2 or more categories of uses (e.g.,
886 residential and commercial), the minimum total number of required parking spaces
887 for each use may be reduced through shared parking as allowed by Section 134-607.
888 Reduction in required parking spaces also may be approved if one of the following is
889 met:

890 a. A parking study is submitted demonstrating the amount of parking needed.

891 b. Developments within a one-quarter mile from a transit stop are eligible for the
892 following:

893 i. The minimum number of parking spaces may be reduced by up to 5%
894 for sites where the closest portion of the building on the requested
895 parcel is no more than a 1/4 of a mile (1320 linear feet) from a bus
896 stop.

897 ii. The minimum number of parking spaces may be reduced by up to 20%
898 for sites in which the closest portion of the building on the requested
899 parcel is no more than a 1/4 of a mile (1320 linear feet) radius from a
900 commuter rail or bus transfer station.

901 (9) On-street parking along newly created streets within the district or driveways that are
902 directly connected to a public road may be allowed through the site development
903 process. Only parallel on-street parking may be allowed. Angled or perpendicular
904 parking adjacent to a public street or entrance driveway shall not be allowed.
905 Evergreen, large stature shade trees will be required to separate the parallel spaces
906 into sets of no more than four. On-street parking, if provided, may be counted toward
907 meeting minimum parking requirements.

908 **Sec. 134-461. Use Specific Design Standards.**

909 (a) Car/Automotive Washing

910 (1) All washing, waxing, and detailing of automobiles shall be within an enclosed
911 building, with the exception of tunnel entrance and exit doors. Detail bays are
912 prohibited.

913 (2) Tunnel entrance/exits shall not face Orange Avenue, Hansel Avenue, or Hoffner
914 Avenue.

- 915 (3) Vacuuming and drying of automobiles may be outside the building but shall not
916 encroach upon any setback for the principal structure or intended landscape or
917 pedestrian zone and shall only be located on paved areas.
- 918 (4) Vacuum stations and related equipment shall be located behind an extension of the
919 building elevation or a street wall to shield visibility from all streets or single family
920 residential use or zoning district. Such wall shall meet the street wall criteria, as
921 stated above, including landscaping.
- 922 (5) There shall be no outside storage, nor outside display of goods offered for sale.
- 923 (6) No radios, stereos, or other sound amplification devices shall be played when any of
924 the motor vehicles doors or windows are open. Sound from radios, stereos, or other
925 sound amplification devices shall not be audible from anywhere off the site.
- 926 (7) Before a permit will be issued, the property owner shall sign an affidavit documenting
927 that the property owner understands conditions of operation.
- 928 (8) Parking or storage of vehicles and portable equipment on the site is not permitted
929 outside a fully enclosed structure when the business is closed.
- 930 (9) In addition to standard commercial site plan requirements, the proposed site plan
931 must be designed and demonstrate effective ingress/egress to the site, adequate
932 stacking for 5 vehicles per queuing/stacking lane, realistic turning radiuses, and the
933 accommodation of a by-pass lane(s). The site plan shall also include the proposed
934 architectural building rendering. These plans will include the Exterior Elevations and
935 landscaping, and location for any proposed outside activities. The building will
936 typically require conformance to the 100-foot building rule.
- 937 (10) The building shall be designed to have a primary or secondary customer
938 (Pedestrian) entrance facing the primary road (highest traffic count) with pedestrian
939 connection from the public sidewalk to the customer entrances.
- 940 (b) Drive Up Windows/Facilities
- 941 (1) Drive up windows shall be designed on the rear of the building.
- 942 (2) The drive-up aisle shall not be located between the building and Orange Avenue,
943 Hansel Avenue, Gatlin Avenue, Holden Avenue, or Hoffner Avenue.
- 944 (3) The building façade facing Orange Avenue, Hansel Avenue, or Hoffner Avenue,
945 whether such elevation functions as the side or rear of the building, shall be
946 architecturally designed to avoid a “back of building” appearance.
- 947 (4) Drive up aisles shall have adequate on-site queuing distance to accommodate 6 cars
948 (120 feet) before stopping point (e.g., pick up window, teller window, atm machine).
- 949 (5) The menu board/communication speaker shall be face away from residential uses or
950 zoning districts.
- 951 (c) Garden Center

- 952 (1) Outdoor storage of merchandise is not permitted in the Edgewood Central District.
- 953 (2) Garden Centers are allowed if incorporated/integrated into the primary building onsite
954 with the intent that all merchandise is shielded from view from adjacent properties at
955 ground level and street rights-of-way.
- 956 (d) Multi-Dwelling Residential Buildings (stand-alone)
- 957 In addition to the other design standards of the district, approval of a special exception to
958 allow buildings used exclusively for residential purpose shall be based on a finding that
959 the design of the proposed residential furthers the intent of the district, particularly for
960 development to be human scale, encouraging alternative modes of transportation, and
961 protecting the stability of existing residential neighborhoods through design. The building
962 placement and design standards of the district shall apply.
- 963 (e) Company Vehicles
- 964 Parking of the permissible company vehicles shall be on a parking lot located behind the
965 line created by the rear of the Road View building. If only the Rear portion of the lot is
966 developed, the company vehicles may be parked within the parking area for that portion
967 of the site (i.e., behind the street wall, minimum 100 feet from the front property line).
- 968
- 969 (f) Passenger Car Rental, Urban Prototype
- 970 (1) Only rental of Passenger Vehicles, as defined by the Federal Highway
971 Administration, shall be allowed.
- 972 (2) Deliveries containing multiple vehicles from a truck are not permitted.
- 973 (3) No vehicle maintenance and repair, including oil changes, shall occur on-site.
- 974 (4) Wash and vacuum stations shall comply with the following:
- 975 a. Vacuumping and drying of automobiles may occur outside the building
976 provided such activity occurs only on paved areas and does not encroach upon
977 any setback for the principal structure or intended landscape or pedestrian
978 zone.
- 979 b. Vacuum stations and related equipment shall be located behind an extension
980 of the building elevation or a street wall to shield visibility from all streets or
981 single family residential use or zoning district. Such wall shall meet the
982 street wall criteria, as stated above, including landscaping.
- 983 (5) Detail bays shall not be permitted.
- 984 (6) There shall be no outside storage, other than the rental vehicles, nor outdoor display
985 of goods offered for sale.
- 986 (7) The number of rental cars onsite shall be limited to 15.

987 (g) Micro-Breweries, Craft Distilleries, Micro-Wineries

988 (1) No outdoor storage shall be permitted. All malt, vinous or distilled liquor
989 production shall be within completely enclosed structures.

990 (2) By-products or waste from the production of the malt, vinous or distilled liquor
991 shall be properly disposed of off the property.

992 (3) Building square footage shall not exceed 15,000 gross square feet without approval
993 of a special exception.

994 (4) A minimum of 50% of the building floor area shall be used as a restaurant, tasting
995 room, or retail operation (or any combination thereof).

996 **134-462. Development Bonuses.**

997 The purpose of the development bonus system is to promote achievement of the goals and vision
998 of the district that otherwise would not be economically feasible without a bonus in development
999 intensity. Development sites may receive more than one bonus. All costs associated with
1000 implementation of the bonus categories shall be the responsibility of the developer.

1001 (a) Creation of an Activity Node

1002 Activity nodes shall be allowed an increase in the maximum impervious surface area
1003 ratio to 90%. Activity nodes shall be allowed an increase in the maximum building
1004 height to 75 feet/6 stories. In order to achieve the activity node bonuses the following
1005 design standards must be met:

1006 (1) Development sites must be at least 7.5 acres in size.

1007 (2) Buildings shall be designed with the pedestrian in mind reflected by, but not limited
1008 to, scale and massing of buildings, walkable blocks, use of arcades and galleries, and
1009 emphasis on active first floor uses oriented to the street. Both residential and
1010 nonresidential uses are included. Building entryways and walkways will incorporate
1011 awnings and/or recessed entrances to provide weather protection for pedestrians.
1012 Such development will include unique architectural features and a comprehensive
1013 sign plan that promotes a cohesive design for the activity node. In addition, public
1014 amenities will be incorporated into the development to include public art, useable
1015 public gathering areas with seating and shade structures, water sculptures, fountains,
1016 or similar public amenities that are accessible to the public.

1017 (3) Parking shall be located behind buildings or in parking structures. On street parallel
1018 parking is allowed; on-street angled parking shall not be allowed.

1019 (4) Include a park/urban plaza meeting the following criteria:

1020 a. The minimum area shall comprise at least one quarter (0.25) of an acre
1021 and the maximum shall be 2 acres.

1022 b. The area is spatially defined by building frontages or a lake and must be
1023 located along at a least one street. Building façades facing the plaza shall
1024 have at least 70% of their first floor's primary façade in transparent
1025 windows and/or public entrances.

- 1026 c. The area will consist of paved surfaces with planters and landscaped areas
- 1027 consisting of paths, lawns, and shade trees, seating, and other furnishings,
- 1028 all formally arranged. A water feature is encouraged.
- 1029 d. The urban plaza or park shall be privately-owned and maintained, but
- 1030 open to the public. The applicant shall also be required to prepare a
- 1031 management plan for the maintenance and ownership of the site.
- 1032 e. Demonstration of compatibility with adjacent uses.
- 1033 f. Request for development approval must include elevations and colored
- 1034 renderings with materials identified in addition to development site plan.

1035 (b) Road Connectivity Improvement

1036 Land set aside for improved public road connectivity within the city, in particularly the

1037 connection of Holden Avenue to Gatlin Avenue, will receive a transfer of development

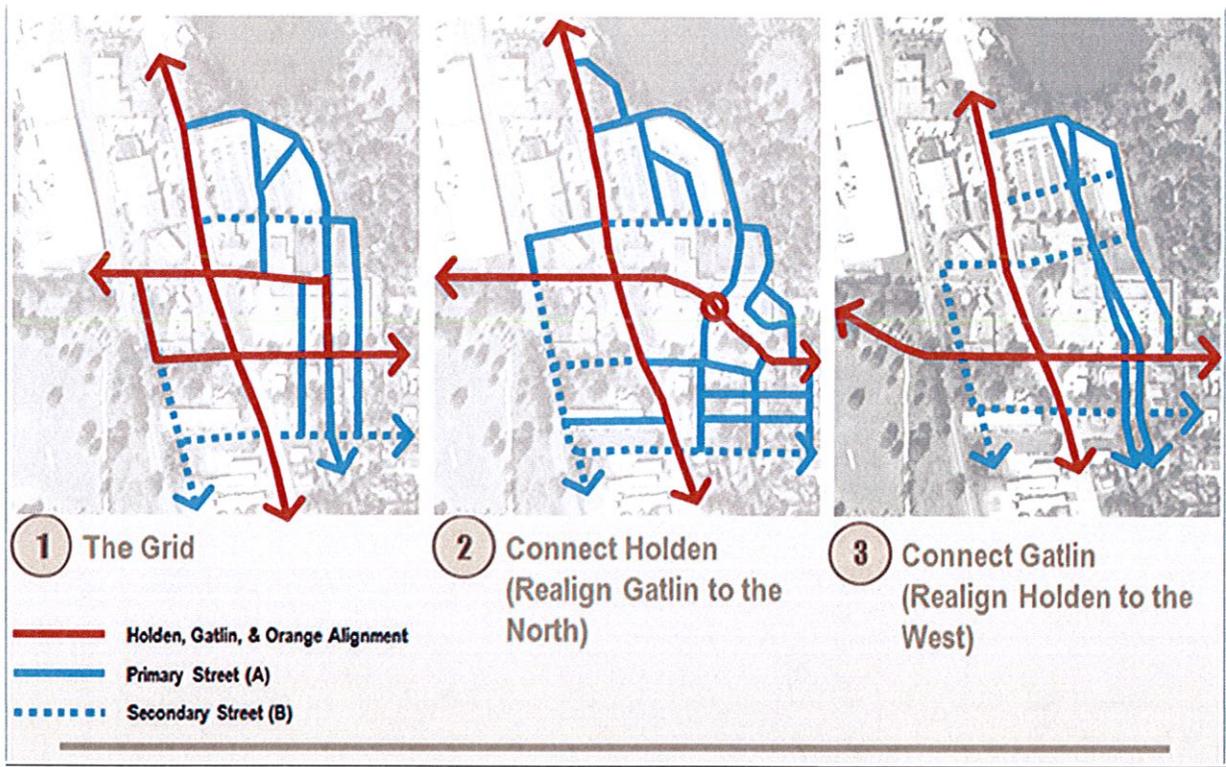
1038 rights to other areas of the site at 2:1 land area ratio. In addition, cost of the road

1039 construction may be credited against any transportation impact fees attributable to

1040 development of the site. Cross access easements are not eligible for this bonus.

1041 Three scenarios were presented by the MPO Study, with “the Grid” being the preferred

1042 option; however, other designs will be considered.



1044

1045

1046 (c) Consolidation of Access Points/Use of Joint Driveways on Major Roads

1047 Minimizing the number of driveway connections along the corridor is not only important
1048 for efficient through-traffic movements, but will improve pedestrian safety. Minimizing
1049 the number of driveways reduces the number of potential pedestrian/driver conflicts.
1050 Thus, the goal along the road corridor is consolidation of driveways.

1051 The use of a joint use/shared driveway by locating the driveway on a shared property line
1052 and a non-exclusive ingress/egress access easement recorded in Orange County official
1053 public records will be eligible for an impervious surface area bonus equal to the
1054 impervious surface of the shared driveway.

1055

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