

Marion Rayburn
Chair

David Gragg
Vice-Chair

Steve Kreidt
Board Member

Ryan Santurri
Board Member

Dr. Aileen Trivedi
Board Member

PUBLIC NOTICE
PLANNING AND ZONING BOARD MEETING – February 10, 2020

WELCOME! We are very glad you have joined us for today’s Planning and Zoning meeting. The Planning and Zoning Board is an advisory board to City Council comprised of citizen members who voluntarily and without compensation devote their time and talents to a variety of zoning and land development issues in the community. All P&Z recommendations are subject to final action by City Council. The results of today’s meeting will be presented at the noted City Council meeting for approval of recommended actions. Any person desiring to appeal a recommended action of the Board should observe the notice regarding appeals below. **CAUTION:** Untimely filing by any appellant shall result in an automatic denial of the appeal.

The Planning and Zoning Board as the Local Planning Agency for the City of Edgewood will meet at 405 Bagshaw Way, Edgewood, Florida, to consider the items of business listed herein at the time and date indicated below.

Monday, February 10, 2020 at 6:30 pm

- Call to Order
- Pledge of Allegiance
- Roll Call and Determination of Quorum
- Approval of Minutes
January 14, 2020 – Regular P&Z Meeting
- New Business
 - **Commercial Review:**
5655 S Orange Ave – Cornerstone Pace
 - **Commercial Review, Waivers and Variance**
5156 S Orange Ave – Bailey’s Medical
 - **ORDINANCE NO. 2020-01**
AN ORDINANCE OF THE CITY OF EDGEWOOD, ORANGE COUNTY, FLORIDA AMENDING CHAPTER 134, “ZONING,” SECTIONS 134-606 AND 134-607 OF THE CODE OF ORDINANCES

**RELATED TO THE USE OF OFF-SITE PARKING SPACES
TOWARD REQUIRED OFF-STREET PARKING CALCULATIONS
AND THE USE OF SHARED PARKING AGREEMENT; PROVIDING
FOR SEVERABILITY; PROVIDING FOR CODIFICATION,
CONFLICTS, AND EFFECTIVE DATE.**

- Comments/Announcements
- **FUTURE MEETINGS:** *(SCHEDULE CONTINGENT UPON SUBMITTAL OF ITEMS THAT REQUIRE CONSIDERATION OF THE PLANNING & ZONING BOARD AS THE LOCAL PLANNING AGENCY FOR THE CITY OF EDGEWOOD)*
 - March 9, 2020
 - April 13, 2020

GENERAL RULES OF ORDER

You are welcome to attend and express your opinion. The Board is pleased to hear non-repetitive comments related to business before the Board; however, a five (5) minute time limit per person has been set by the Board. Large groups are asked to name a spokesperson. If you wish to appear before the Board, please fill out an Appearance Request Registration Form and give it to the City Clerk. When recognized, state your name and speak directly into the microphone. The City is guided by ROBERTS RULES OF ORDER in governing the conduct of the meeting. Persons with disabilities needing assistance to participate in any of these proceedings should contact the City Clerk at 407-851-2920 at least 24 hours in advance of the meeting.

WE ASK THAT ALL ELECTRONIC DEVICES (IE. CELL PHONES, PAGERS) BE SILENCED DURING OUR MEETING!

Thank you for participating in your government!

APPEALS: According to Edgewood City Code Section 26-24 (2), “any person aggrieved by any recommendation of the Board acting either under its general powers or as a Board of Adjustment may file a notice of appeal to the City Council within seven (7) days after such recommendation is filed with the City Clerk. Per Section 286.0105, Florida Statutes state that if you decide to appeal a decision made with respect to any matter, you will need a record of the proceeding and may need to ensure that a verbatim record is made.



PLANNING & ZONING BOARD DRAFT MEETING MINUTES
January 13, 2020

Planning and Zoning Board Members:

Marion Rayburn, Chair (absent)
David Gragg, Vice-Chair
Steve Kreidt, Board Member
Ryan Santurri, Board Member
Aileen Trivedi, Board Member

(Quorum)

Staff:

Drew Smith, City Attorney
Allen Lane, City Engineer
Ellen Hardgrove, City Planner
Sandra Riffle, Deputy City Clerk
David Ireland, Police Sergeant

Applicant:

Paul Jaszczenski, Boozehounds Bar
Lainie Pekich
Solange Dao, Dao Consultants

CALL TO ORDER

Vice-Chair Gragg called the Planning & Zoning Board meeting to order at 6:30 pm and led the Pledge of Allegiance.

Deputy City Clerk Riffle announced that there was a quorum with Chair Rayburn absent.

APPROVAL OF MINUTES

- *December 9, 2019*

Changes were submitted by Board Member Gragg before the meeting. A copy of the revisions was provided to each Board Member.

Board Member Santurri moved to approve the minutes with corrections; second by Board Member Trivedi. The motion passed (4/0).

NEW BUSINESS

- **Waiver and Variance Requests – 5501 S Orange Avenue Boozehounds Bar**

Planner Hardgrove introduced the applications for waivers and variances and noted that while this is not site plan review, a site plan is provided. Planner Hardgrove explained the layout of the bar and dog park and discussed each of the waiver requests.



Building Height (ECD Ordinance Section 134-459(a) (4))

The use of shipping containers prohibits the ability to meet the 13 feet height requirement for the first level. The shipping container height is 9 feet 6 inches. The applicant is proposing to elevate the containers 2 feet above grade as an attempt to meet the 13-foot height requirement and to create an illusion that the first floor is 11 feet 6 inches. There will be a recessed second story.

Horizontal Variation (ECD Ordinance Section 134-459(a)(3))

The ECD requires the building facade to vary horizontally at least every 40 feet, and current plans do not fulfill these requirements. Planner Hardgrove stated that there are options to offer more variation, and it is possible to meet the standards. They are not meeting full height variation even though they meet the transparency requirements.

Window Placement (ECD Ordinance Section 134-459(a)(2))

Proposal for a waiver from window placement on the west building elevation; however, Planner Hardgrove's report reflects that this standard can be met.

Façade Vertical Variation (ECD Ordinance Section 134-459(a) (5))

The applicant is requesting a waiver from the required vertical variation because of the proposed substandard height of the first floor. This standard requires buildings higher than 20 feet, regardless of the number of stories, to have a 3-dimensional horizontal change at least 12 inches in height across at least 75% of the building, placed between 13 to 15 feet above ground to ensure a human scale.

Decorative Elements (ECD Ordinance Section 134-459(a)(6))

Planner Hardgrove said that she would not take the time to discuss this waiver as she expects the applicant to withdraw the application.

Rooflines (ECD Ordinance Section 134-459(a)(7));

The ECD requires a 3-dimensional cornice at least 2.5 feet in height, or as needed to conceal mechanical equipment. Planner Hardgrove's report states that meeting this standard is not illogical, impossible, impractical, or unreasonable.

Fence Waivers (ECD Ordinance Section 134-460(c) (3) and Section 134-460(c) (1));

Planner Hardgrove said that she recommends denial of all waivers and conditions of the fence.

Discussion ensued between Board Members and the City Planner regarding ECD requirements, including the acceptability of using shipping containers, tree furnishing zone, and fencing.

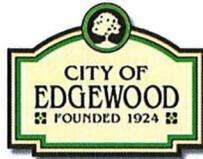
Board Member Kreidt said that it is important to maintain the standard of the ECD and setting precedents for additional development. He noted that Edgewood is in transition and likes the concept.

Solange Dao of Dao Consultants came to the podium and introduced herself. She said that they want to uphold the ECD standards and that they are filling the need for play in the community with an open safe dog park using unique material design. She explained that their activity is primarily exterior as they are a dog park first.

Ms. Dao reviewed the waiver requests and explained the reasons for the requests.

Applicants Paul Jaszczenski and Lainie Pekich approached the podium and explained the location of the fence and said that it would not cause blockage and that it would allow the cross access in case that lot was redeveloped.

Mr. Jaszczenski responded to Board Member Gragg that there are a handful of dog bars in the country and it is becoming trendy to use the containers.



Board Member Kreidt asked if there is a compromise to get the look intended by the ECD. Mr. Jaszczenski expressed that they are willing to negotiate. There is also a cost perspective and they are a small business.

Attorney Smith reminded that Board’s review is to decide if the applicant is meeting the criteria for a waiver, not whether the Board likes the proposal.

Public Comments

Tina Demostene -- stated that it is important to uphold the standards of the ECD. She supports the package but is mindful of the aesthetics and precedents. Ms. Demostene also discussed architectural elements of the proposed development.

Erin Sterk -- loves the idea and supports the project; she is opposed to certain variances. Ms. Sterk questioned architectural elements, including vertical elevation and said that future use should also be considered.

Neil Boris -- stated his concerns for adequate fence height. As a dog owner, he loves the concept and is supportive of the creative solution process.

Heather Papoulis – is an animal behaviorist and advocated for the 6-foot fence to ensure safety and to lower the chance of a dog jumping the fence.

Planner Hardgrove reviewed the requirements for a waiver with the Planning and Zoning Board.

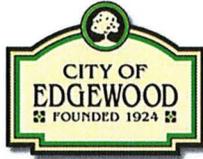
Building Height (ECD Ordinance Section 134-459(a) (4))

Board Member Kreidt said that he did not believe that the request meets the criteria to justify approval, with which Board Member Trivedi agreed.

Board Member Kreidt moved to recommend denial of a waiver request for building height because it is feasible to achieve the standard and will not create a hardship; seconded by Board Member Trivedi. The motion passed (4/0).

A roll call vote was taken

Board Member	Aye	Nay
Board Member Trivedi	1	
Board Member Gragg	2	
Board Member Kreidt	3	
Board Member Santurri	4	



- **Façade Vertical Variation** (ECD Ordinance Section 134-459(a) (5); *Board Member Santurri made the motion to recommend denial of waiver request for vertical façade variation based on the fact that with conformance with the building height standard, vertical variation is possible to achieve; seconded by Board Member Kreidt. The motion passed (4/0).*

A roll call vote was taken.

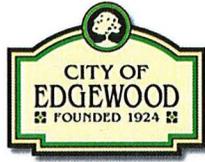
Board Member	Aye	Nay
Board Member Trivedi	3	
Board Member Gragg	1	
Board Member Kreidt	4	
Board Member Santurri	2	

- **Façade Horizontal Variation** (ECD Ordinance Section 134-459(a)(3)); *Board Member Santurri made a motion to recommend denial of the waiver for horizontal variation as the owner said they could meet this requirement; seconded by Board Member Trivedi. The motion passed (4/0).*

A roll call vote was taken.

Board Member	Aye	Nay
Board Member Trivedi	4	
Board Member Gragg	3	
Board Member Kreidt	2	
Board Member Santurri	1	

- **Window Placement Waiver** (ECD Ordinance Section 134-459(a)(2); Planner Hardgrove said that the application still requires a waiver, in spite of the illusion. *Board Member Kreidt made a motion to approve a waiver to allow the window height to be 5 feet 6 inches above grade due to the need for the windows to be at 3 feet 6 inches from the deck floor due to the standard counter height for the proposed use; seconded by Board Member Gragg. The motion passed (4/0).*



A roll call vote was taken.

Name	Aye	Nay
Board Member Trivedi	4	
Board Member Gragg	3	
Board Member Kreidt	1	
Board Member Santurri	2	

- **Decorative Elements** (ECD Ordinance Section 134-459(a)(6));
The applicant withdrew the waiver.
- **Rooflines** (ECD Ordinance Section 134-459(a)(7));
The applicant withdrew the waiver.
- **Fences in the Road View Area** (ECD Ordinance Section 134-460(c) (1);
The Board discussed choices and combinations for the fence. In response to Board Member Gragg, Planner Hardgrove said that if this were a regular park, there would not be a fence requirement; there could be 100 feet of green space and the building in the back.

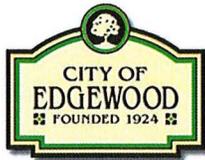
Board Member Kreidt asked if there could be a compromise as there is a struggle to achieve the ECD look. Attorney Smith suggested a compromise with space and columns, which was supported by Mr. Jaszczenski.

To Ms. Dao, Attorney Smith said that the ECD is not specific with whether it has to be masonry or just opaque.

In response to Board Member Trivedi, Planner Hardgrove said she would recommend a 3-foot hedge.

Ms. Dao stated that the fence is 15 feet back from the sidewalk. They want to maintain openness to be more like a park.

Board Member Kreidt moved to recommend allowing a 6 feet high fence in the road view area for a dog-park; seconded by Board Member Trivedi. The motion passed (3/1).



A roll call vote was taken.

Name	Aye	Nay
Board Member David Gragg	1	
Board Member Steven Kreidt	2	
Board Member Ryan Santurri	3	
Board Member Trivedi		4

- **Fence anywhere in the ECD** (ECD Ordinance Section 134-460(c) (3))
Board Member Santurri moved to recommend granting the waiver to allow a 6-foot high fence within the road view area, with conditions, since such height is necessary for the security of the dogs in the proposed use; the conditions are for the fence in all areas to be a black omega fence with architectural embellishments, except along the south property line from the westernmost edge of the structure on the adjacent property to the parking area so as to not block cross access, where such fence can be opaque; seconded by Board Member Gragg. The motion passed (3/1).

A roll call vote was taken.

Name	Aye	Nay
Board Member	1	
Board Member Gragg	2	
Board Member Kreidt	4	
Board Member Santurri	3	

There was a short recess from 8:22 pm to 8:30 pm.

The Board began a discussion of the variance requests.

- **Variance 2020-01 Parking Quantity** (Code Section 134-605(a)) to allow off-street parking calculation to be based on a modified formula for a restaurant/bar and a dog kennel.

Planner Hardgrove said that her recommendation is for denial on the first part and to make modifications to the second part of the request.

- **Variance 2020-02 Parking Location** (Code Section 134-606) to allow off-site parking to be within ¼ mile rather than 300 feet of the principal entrance as measured along the most direct pedestrian route.



Planner Hardgrove said that the request does not involve crossing an arterial road but that the issue is with the permanency of the agreements. Using the property to the north is not supported; the city does not know how many spaces there are. The property to the south is supported if there is a signed agreement. There are parking overflows issues elsewhere in Edgewood. The only way to guarantee parking is to own the property.

Planner Hardgrove recommended that all ADA parking be located on the subject property.

Planner Hardgrove reviewed variance criteria with the Board members.

Ms. Dao approached the podium. She said that they are well below an acceptable distance to walk. The proposed parking locations, even in comparison to the bus stop locations, are a very safe and reasonable distance.

Discussion ensued amongst the Board regarding parking alternatives and quantity. City Attorney Smith said that the proposed agreement with Lighthouse is terminable at will. Planner Hardgrove added that if they lose their parking requirements and there are not enough spaces, the city would shut it down.

Mr. Jaszczenski said there is another agreement available as Nationwide Roofing leaves, which is an option until they know how many spaces they need.

Ms. Dao said that the parking agreement would be complementary hours to the businesses.

In response to Board Member Kreidt on transportation options, Mr. Jaszczenski said most Edgewood residents can walk. Uber has offered pet-friendly cars, which is a good option, especially with the bar.

Public comment

Erin Sterk – stated her concerns about the parking calculations and that she does not think that the information regarding offsite parking lines up. Attorney Smith reminded the Board that this is not site plan review.

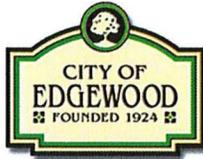
Tina Demostene – discussed that she had a big concern for redevelopment, particularly as there are all these waivers for one use versus permanency. The hours may provide conflict in the future with offsite parking. This is new development and should meet the code.

Susan Lomas – said that she agrees with Ms. Demostene and Ms. Sterk. Edgewood wants development, but the right development on the right sized property. This sets up for problems down the road.

- **Variance 2020-02 Parking Location** (Code Section 134-606) to allow off-site parking to be within ¼ mile rather than 300 feet of the principal entrance as measured along the most direct pedestrian route.

Board Member Trivedi said that it is a desirable business and restated her concern about parking.

Mr. Jaszczenski responded that Edgewood is trying to become walkable. Yes, they are limited on public parking, but the point is to share and to use the cross access. For redevelopment, the whole space can be a parking lot. There cannot be a building on the street because they need a single point of access for the dogs.



Board Member Kreidt asked Planner Hardgrove when it was that the parking equations were updated. She said that she does not know but acknowledged that there are issues. Board Member Kreidt responded that there a lot of new trends with mobility.

Attorney Smith recommended that there could be conditions that the variance would go away with the use.

Planner Hardgrove recommended basing the parking calculations for the bar on the existing formula for restaurants, which includes any area to be used for patrons, including decks, and that that the fenced-in area calculated by standards for veterinarians and clinics.

Planning and Zoning voted for the variance requests as follows:

- **Variance 2020-01 Parking Quantity** (Code Section 134-605(a)) to allow off-street parking calculation to be based on a modified formula for a restaurant/bar and a dog kennel.

Board Member Santurri made the motion for Variance request 2020-01, to recommend that off-street parking calculations pertaining to restaurants, grills, bars, and dining establishments be applied to the bar areas and all seating areas and space other than the dog run. Parking calculations for the fenced in areas of the dog run to be based on kennel/vet clinics; seconded by Board Member Trivedi. The motion passed (4/0).

A roll call vote was taken.

Name	Aye	Nay
Board Member Trivedi	3	
Board Member Gragg	2	
Board Member Kreidt	1	
Board Member Santurri	4	

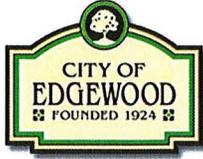
- **Variance 2020-02 Parking Location** (Code Section 134-606) to allow off-site parking to be within ¼ mile rather than 300 feet of the principal entrance as measured along the most direct pedestrian route.

Attorney Smith pointed out that Discovery Church, The Waterfront, and VanBarry’s are not variance situations. This proposal would be farther than 300 feet away.

Board Member Santurri added that those restaurants are not using offsite parking. It is not analogous.

Planner Hardgrove said that ¼ mile gives walkability, and there is flexibility.

Board Member Santurri moved to recommend approval of Variance 2020-0; seconded by Board Member Kreidt. The motion passed (4/0).



A roll call vote was taken.

Name	Aye	Nay
Board Member Trivedi	1	
Board Member Gragg	3	
Board Member Kreidt	2	
Board Member Santurri	4	

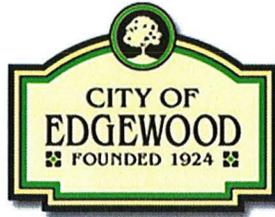
COMMENTS/ANNOUNCEMENTS

Board Member Santurri made the motion to adjourn; seconded by Board Member Gragg. The motion passed (4/0).

The meeting adjourned at 9:31 pm.

Marion Rayburn, Chair

Sandra Riffle, Deputy City Clerk



Memo

To: Planning and Zoning Board Members
CC: Drew Smith, Allen Lane, David Mahler, Ellen Hardgrove
From: Sandy Riffle, Deputy City Clerk
Date: February 5, 2020
Re: New Business Items

There are three (3) items of business for the February 10, 2020 Planning and Zoning Board meeting. The following items been included for your review.

1. 5655 S Orange Avenue Cornerstone Pace

Commercial Review

- Staff report from City Engineer Allen Lane, dated January 27, 2020
- Full sized plans are provided in the back of the agenda notebook
- The City Engineer is prepared to respond to any questions you may have regarding the variance and waiver requests. The applicant/representative for Cornerstone/Pace will also be in attendance.

2. 5156 S. Orange Avenue Bailey's Medical

Commercial review and consideration of one (1) variance application and three (3) waiver requests

- Variance applications 2020-03 - a request for a variance in Code Section 134-608(a) to allow two grassed parking spaces on either side of an historic tree adjacent to the north property line in lieu of the required durable all-weather surface (a total of 4 grass spaces).
- Staff Report from CPH Engineer, Allen Lane, dated January 29, 2020
- Staff Report from Planner Ellen Hardgrove, dated January 31, 2020
- Notice of Public Hearing
The Notice of Public Hearing letters was sent on January 30, 2020 to those property owners within 500 feet of the subject property. There were 160 notices provided by U.S. Mail. No objections or comments were received at City Hall as of the date of this memo.
A legal advertisement was placed in the Orlando Sentinel on Friday, January 31, 2020 to advertise the requested waivers, as required by City Code.
- Full sized plans are provided in the back of binders due to their large size.

New Business Items

- The City Planner is prepared to respond to any questions you may have regarding the variance and waiver requests. The applicant/representative for Bailey's Medical will also be in attendance.

3. ORDINANCE NO. 2020-01

AN ORDINANCE OF THE CITY OF EDGEWOOD, ORANGE COUNTY, FLORIDA AMENDING CHAPTER 134, "ZONING," SECTIONS 134-606 AND 134-607 OF THE CODE OF ORDINANCES RELATED TO THE USE OF OFF-SITE PARKING SPACES TOWARD REQUIRED OFF-STREET PARKING CALCULATIONS AND THE USE OF SHARED PARKING AGREEMENT; PROVIDING FOR SEVERABILITY; PROVIDING FOR CODIFICATION, CONFLICTS, AND EFFECTIVE DATE.



1117 East Robinson St.
Orlando, FL 32801
Phone: 407.425.0452
Fax: 407.648.1036

January 27, 2020

Ms. Sandy Riffle
Administrative Assistant
City of Edgewood
405 Bagshaw Way
Edgewood, FL 32809-3406

RE: 5655 S Orange Ave – Cornerstone Hospice
Plans review
CPH project number E7601

Dear Ms. Riffle;

We are in receipt of the revised plans and response to our comments, dated January 20, 2020. We reviewed the response letter from the engineer, the revised plans and our original comments to verify all our questions had been addressed.

We do not have any additional design or plan review comments to the plans and do not have any objections to the City approving the plans.

The design engineer did acknowledge that the canopy height on the north side of the building was less than the required Orange County Fire Rescue (OCFR) minimum height. Their response was that it was their expectation that the OCFR vehicle would not utilize the drop off zone and that they anticipate the response vehicle would remain on Gem Street and still be within 50 feet of the door to the building. We anticipate this project will still need to go through County review and that the County or Fire Rescue may comment on this item.

Please contact us if there are any additional questions.

Sincerely,
CPH, Inc.

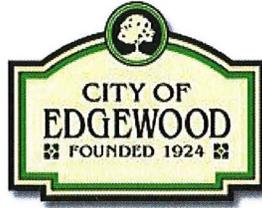
A handwritten signature in cursive script that reads "Allen C. Lane, Jr." in black ink.

Allen C. Lane, Jr., P.E.
Project Engineer

CC: file

J:\E7601\Civil\Documents\City Plans-Application Review\5655 S Orange Ave - Cornerstone Hospice\letters\5655 S Orange Ave Cornerstone Hospice approval ltr to City 1-27-20.docx

RECEIVED
FEB 04 2020
CITY OF EDGEWOOD



APPLICATION FOR VARIANCE

Reference: City of Edgewood Code of Ordinances, Section 126-588

REQUIRED FEE: \$350 RESIDENTIAL \$750 COMMERCIAL
(Plus Applicable Pass-Through Fees - Ordinance 2013-01)

Please note this fee is non-refundable

Office Use Only:	
VARIANCE APPLICATION #:	2020-03
PLANNING AND ZONING MEETING DATE:	2/10/2020
CITY COUNCIL MEETING DATE:	2/18/2020

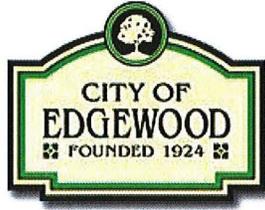
IMPORTANT: A COMPLETE application with all required attachments and ten (10) copies must be submitted to the City Clerk _____ days before the next Planning & Zoning meetings. No application shall be deemed accepted unless it is complete and paid for. Notarized letter of authorization from Owner MUST be submitted if application is filed by anyone other than property owner.

Please type or print. Complete carefully, answering each question and attaching all necessary documentation and additional pages as necessary.

Applicant's Name:	Trisha Bailey-Archie	Owner's Name:	Trisha Bailey-Archie
Address:	2109 Brewster Ct	Address:	Orlando, FL 32833-3725
Phone Number:	407-951-2644	Phone Number:	
Fax:		Fax:	
Email:	keith@comtekconstruction.com	Email:	
Legal Description:	The south 38.7 feet of the north 1/2 of the nw 1/4 of the sw 1/4 of section 13, twp 23s, range 29E, lying b/w the Atlantic Coast Railroad ROW and west bdy of the public road b/w Orlando and Pine Castle. and the north 74.3 ft of the south 1/2 of that part of the nw 1/4 of the sw 1/4 of section 13, twp 23S, r 29E, lying east of the Atlantic		
Zoned:	ECD Coast line Railroad ROW and public road from Orlando to Pine Castle, Orange County, Florida		
Location:	5156 South Orange Avenue		
Tract Size:	0.96		
City section of the Zoning Code from which Variance is requested:	134-608(a)		
Request:	To allow grassed parking in lieu of hard surface to save a historic tree		
Existing on Site:	no parking		

The applicant hereby states that this request for Variance does not violate any deed restrictions on the property. **Application must be signed by the legal owner, not agent, unless copy of power of attorney is attached.**

405 Bagshaw Way, Edgewood, Florida, 32809-3406
 Phone: 407-851-2920 / Fax: 407-851-7361
www.edgewood-fl.gov



To justify this variance, applicant must demonstrate the following:

1. That special condition and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other lands, structures or building in the same zoning classification
2. the special conditions and circumstances do not result from the action of the applicant
3. literal interpretation or enforcement of the provisions of the Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same zoning classification under the terms of the Ordinance
4. the variance, if authorized, will represent the minimum variance that will afford relief and will represent the least modification possible for the regulation at issue
5. the variance sought will not authorize or extend any non-conforming use or other non-conformity with respect to the land or structures in questions
6. the granting of the variance will be in harmony with the general intent and purpose of this Ordinance, will not be injurious to the area involved, or surrounding properties, and will not authorize a use of the property not permitted by its zoning classification
7. the variance sought will be consistent with the Edgewood Comprehensive Plan

Applicant must agree that:

1. In granting any variance, the City may prescribe appropriate conditions and safeguards in conformity with the Ordinances, and any regulations enacted under its authority. Violation of such conditions and safeguards, when made a part of the terms under which the variance is granted shall be deemed a violation of Edgewood ordinances.

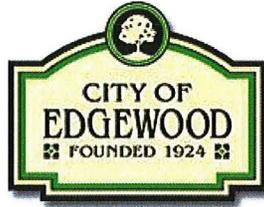
AGREE:		DISAGREE:	
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2. The variance recommended by the Planning and Zoning Board and approved by the City Council shall expire in 12 months in accordance with Chapter 134-104 (3) (e).

AGREE:		DISAGREE:	
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The applicant hereby states that the above request for Variance does not violate any deed restrictions on the property.

Applicant's Signature:		Date:	
Applicant's Printed Name:			
Owner's Signature:		Date:	
Owner's Printed Name:			



Please submit your completed application to City Hall via email at bmeeks@edgewood-fl.gov or sriffle@edgewood-fl.gov, via facsimile to 407-851-7361, or hand deliver to City Hall located at 405 Larue Ave. For additional questions, please contact City Hall at 407-851-2920.

Office Use Only:	
Variance #:	2020-03
Received Date:	
Received By:	Sandra Riffle
Forwarded To:	
Notes:	

Revised 6/24/2019

Page 4 of 4



January 29, 2020

Ms. Sandy Riffle
Deputy City Clerk
City of Edgewood
405 Bagshaw Way
Edgewood, FL 32809-3406

**RE: 5156 S Orange Ave – Pharmacy Building
Revised plan review
CPH project number E7601**

Dear Ms. Riffle;

We are in receipt of the revised site plan, via e-mail from the engineer, received January 29, 2020. We also received an updated set of storm water calculations and lift station calculations. We understand a copy of these plans shall be submitted to the City for your records. We are reviewing the plans and our previous comment letter dated January 22, 2019 to verify if all the comments have been addressed.

Based on the coordination at the meeting held at the City on January 24, 2020 and the revised plans received January 29, all the Civil design comments have been addressed. We do not have any objections to the City approving the plans.

Please be reminded, future approval of this application by the City of Edgewood does not grant authority to alter other portions of this property, nor does it waive any permits that may be required by Federal, State, or County agencies which may have jurisdiction.

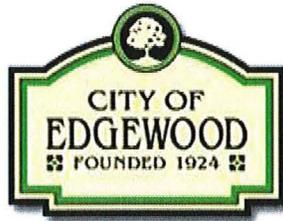
Sincerely,
CPH, Inc.

A handwritten signature in cursive script that reads "Allen C. Lane, Jr." is positioned above the typed name.

Allen C. Lane, Jr., P.E.
Project Engineer

CC: David Mahler, P.E.,
Ms. Ellen Hardgrove,
File

J:\E7601\Civil\Documents\City Plans-Application Review\5156 S Orange Ave - Bailey Pharmacy\letters\5156 S Orange Ave - rev site plan review 1-28-20.docx

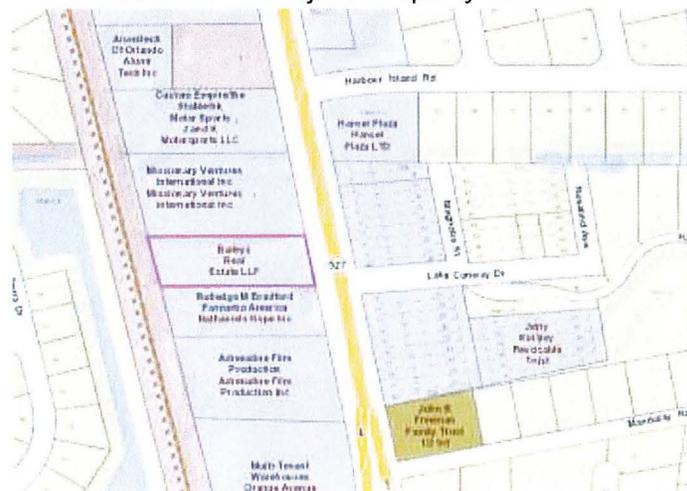


Date: January 31, 2020
To: Planning & Zoning Board
From: Ellen Hardgrove, City Planning Consultant
XC: Sandy Riffle, Deputy City Clerk
Allen Lane, CPH Engineering, City Engineering Consultant
Bea Meeks, City Clerk
Drew Smith, City Attorney
Re: 5156 South Orange Avenue Site Development Permit plan proposal and request for ECD waivers and a variance

PROPOSAL

This public hearing is for the consideration of a site development permit for a two-story office building, with a pharmacy/medical supply business on the first floor and offices on the second, on the property at 5156 South Orange Avenue. Exhibit 1 shows the location of the property. The plan set is included in the staff P&Z package, the contents of which are listed at the end of this report.

Exhibit 1 – Subject Property Location



The property is zoned ECD and as such has specific design requirements. The plan set submitted to the P&Z meets the requirements of the ECD, as well as the minimum plan components referenced in Code Section 134-135 related to land planning, with the exception where three (3) waivers to the ECD standards and a variance in parking

requirements have been requested by the applicant or recommended by staff. Engineering review of the plans by CPH is provided in a separate report.

The following identifies the waivers that are being requested. Staff recommends approval of all proposed with conditions as noted finding there is substantial competent evidence to show where a strict application of the ECD design standards would create an illogical, impossible, impractical, or unreasonable result on the applicant.

Requested Waivers

- 1. Waiver in ECD Ordinance Section 134-461(b)(4) (Specific Design Standards for Drive Up Windows) to allow the queuing distance for a drive-up window to accommodate 2 cars (40 feet) before the first stopping point in lieu of 6 cars (120 feet).**

This waiver is requested due to the practicality of the use to provide a longer queue length (e.g., pharmacy vs fast food). Staff recommends the following condition of approval: The approval is specifically for the use of a drive-up window accessory to a pharmacy; a change in use that will use the drive-up window shall be conditioned upon documentation of adequate queue length for such user approved by City Council.

- 2. Waiver in ECD Ordinance Section 134-458(h)(2)b. (Site Design-Tree Location) to allow the trees in the Tree/Furnishing/Sign Area to be located on the property line in lieu of a 12.5 feet offset.**

This waiver corresponds and supports the waiver to allow a 15 feet build-to line that was previously approved for this property. Adequate distance from the building is necessary to sustain the viability of a shade tree.

- 3. Modification of conditions for previously approved waiver to ECD Ordinance Section 134-460(f)(3) related to driveway design.**

In November 2019, City Council approved a waiver to allow a different driveway cross-section design; such was conditioned on certain landscaping quantity and buffer widths, as well as an enhanced sidewalk to the primary entrance of the building. During the site plan review, staff recommended the driveway width be widened from what was originally proposed and the city's landscape architect recommended changes in the landscaping. The following is recommended by staff:

- A. North side of driveway buffer: Minimum 6 feet in width with a continuous hedge of shrubs to be at least 30 inches high at planting of a species capable of growing to at least 3 feet in height within 6 months and at least 6 feet in**

height at maturity, to be maintained at a height of at least 6 feet, shrubs planted at 30 inches on center.

- B. South side of driveway buffer: Minimum 2 feet 8 inches in width continuous hedge and small trees. Trees to be planted 35 feet on center, to be multi-stem/tree form, with a minimum of three (3) stems, each stem a minimum 1.5 inch caliper and 4 feet spread. The continuous hedge shall be of plants at least 30 inches high at planting, planted 30 inches on center, of a species capable of growing to at least 3 feet in height within 6 months, and maintained at a height of not less than 36 inches.

The remaining conditions of the past approval will continue to apply related to the primary entrance (i.e., east side) and sidewalk width connecting the public sidewalk to primary entrance:

- The building entrance on the building's east side shall be designed and maintained for the general population (not employees only) and is handicapped accessible.
- A minimum eight feet wide sidewalk shall connect the public sidewalk within the road right-of-way to the building entrance (east side).

The following identifies the variance that is being requested. Staff recommends approval.

Requested Variances

A request for a variance in Code Section 134-608(a) to allow two grassed parking spaces on either side of the historic tree adjacent to the north property line in lieu of the required durable all-weather surface (a total of 4 grass spaces).

Since Code Section 134-104 allows the approval of a variance to preserve a historic tree which would otherwise have to be removed, the six standards for variance approval identified in Code Section 134-104 are not applicable. CPH Engineering staff recommends the following condition of approval to minimize any impacts the parking may cause to the tree:

The grass parking shall be constructed using a polypropylene or recycled plastic product produced for the function of stabilizing grass overflow parking spaces such as Grass Pave 2, Core Grass, or True Grid. A stabilized base for the grass parking constructed of compacted aggregate will not be acceptable. The stabilization must allow for permeability plus structural support for vehicles and pedestrians. The sod used for this area shall be Geo Zoysia or Empire Zoysia.

These conditions shall be reflected on the Site Development Permit plan sheets prior to City Council public hearing.

These design standards for the grassed parking are to,

- Prevent rutting, especially in storm events,
- Prevent the compaction of the soil for the sod roots and for the tree roots over the long run,
- Provide an even surface for pedestrians to walk on, and,
- Preserve the permeability of the soil for air and water to reach the tree roots.

OTHER COMMENTS

DRC Vote

The Development Review Committee met January 24, 2020 and voted unanimously under the authority of Code Section 114-3(h) to approve two deviations to the required landscaping related to the minimum buffer width and to the minimum number trees along the property line.

For the buffer widths, staff approved the allowance of the following buffer widths in lieu of the required 7 feet:

1. Where the ADA-accessible parking spaces abut the north property line: the buffer shall be a minimum 3.9 feet; and,
2. Where the vehicular use area abuts the south property line, the minimum buffer width shall be 4 feet 6 inches.

The approved minimum buffer widths are necessary to accommodate the staff recommended location of the ADA-accessible parking and to accommodate effective onsite vehicle movement.

The second deviation is to allow no new trees along the north side of the vehicular use area and stormwater management area in lieu of the required one shade tree every 50 feet of common lot line or fraction thereof. This deviation is necessary to avoid negatively impacting mature trees on the adjacent property. Conditions of the DRC approval are 1) if any trees identified on the submitted landscape plan die (including those off-site counted to meet the minimum requirements), they must be replaced by the owner on subject property, and 2) the stormwater pond shall be redesigned to maximize the distance between the pond without compromising the pond's volume.

Parking Lot Lighting

Although not a current required component of the ECD site design standards, staff recommends additional lighting in the parking area. With parking lots provided in the rear, lighting is essential to provide public safety.

STAFF RECOMMENDATION

Approval of the following

1. A waiver in ECD Ordinance Section 134-461(b)(4) (Specific Design Standards for Drive Up Windows) to allow the queuing distance to accommodate 2 cars (40 feet) before the first stopping point in lieu of 120 feet. conditioned on City Council's approval for a use other than a pharmacy's use of the drive-up window, with such approval to be based on documentation of adequate queue length for a new user, finding there is substantial competent evidence to show where a strict application of the ECD design standards would create an illogical, impossible, impractical, or unreasonable result on the applicant.
2. A waiver in ECD Ordinance Section 134-458(h)(2)b. (Site Design-Tree Location) to allow the trees in the Tree/Furnishing/Sign Area to be located on the property line in lieu of a 12.5 feet offset, finding there is substantial competent evidence to show where a strict application of the ECD design standards would create an illogical, impossible, impractical, or unreasonable result.
3. Modification of landscaping conditions for previously approved waiver to ECD Ordinance Section 134-460(f)(3) related to driveway design as follows.:
 - A. North side of driveway buffer: Minimum 6 feet in width with a continuous hedge of shrubs to be at least 30 inches high at planting of a species capable of growing to at least 3 feet in height within 6 months and at least 6 feet in height at maturity, to be maintained at a height of at least 6 feet, shrubs planted at 30 inches on center.
 - B. South side of driveway buffer: Minimum 2 feet 8 inches in width continuous hedge and small trees. Trees to be planted 35 feet on center, to be multi-stem/tree form, with a minimum of three (3) stems, each stem a minimum 1.5 inch caliper and 4 feet spread. The continuous hedge shall be of plants at least 30 inches high at planting, planted 30 inches on center, of a species capable of growing to at least 3 feet in height within 6 months, and maintained at a height of not less than 36 inches.
 - C. The remaining conditions of the November 2019 approval continue to apply related to the primary entrance (i.e., east side) and sidewalk width connecting the public sidewalk to primary entrance:
 1. The building entrance on the building's east side shall be designed and maintained for the general population (not employees only) and is handicapped accessible.

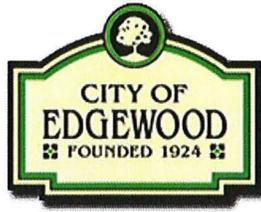
2. A minimum eight feet wide sidewalk shall connect the public sidewalk within the road right-of-way to the building entrance (east side).

4. A variance in Code Section 134-608(a) to allow two grassed parking spaces on either side of the historic tree adjacent to the north property line in lieu of the required durable all-weather surface (a total of 4 grass spaces), finding if the following condition is met, the approval will preserve a historic tree which would otherwise have to be removed or likely decline in health. The grass parking shall be constructed using a polypropylene or recycled plastic product produced for the function of stabilizing grass overflow parking spaces such as Grass Pave 2, Core Grass, or True Grid. A stabilized base for the grass parking constructed of compacted aggregate will not be acceptable. The stabilization must allow for permeability plus structural support for vehicles and pedestrians. The sod used for this area shall be Geo Zoysia or Empire Zoysia. These conditions shall be reflected on the Site Development Permit plan sheets prior to City Council public hearing.

5. Subject to comments provided by CPH Engineering, the Site Development Permit Plan Package dated "Received January 31, 2020" by the City Clerk, conditioned on the addition of lighting to cover all areas of the parking and pedestrian areas consistent with Section 102-23. The Site Development Permit plan sheet package includes the following sheets.

Orange Avenue Pharmacy Site Development Permit Plan Package Contents	
Sheet	Description
1	Cover Sheet
2	Notes and Specs
3	Demo Plan
4	Site Plan
5	Grading Plan
6	Utility Plan
7	Site Details
8	Utility Details
9	Utility Details
10	Sanitary Lift Station
11	MOT Details
L1	Landscaping Plan
LI-1	Irrigation Plan
LI-2	Irrigation Details
	Property Survey
A3.1	Building Elevations
A2.1	Floor Plans
	General Sign Information

ESH

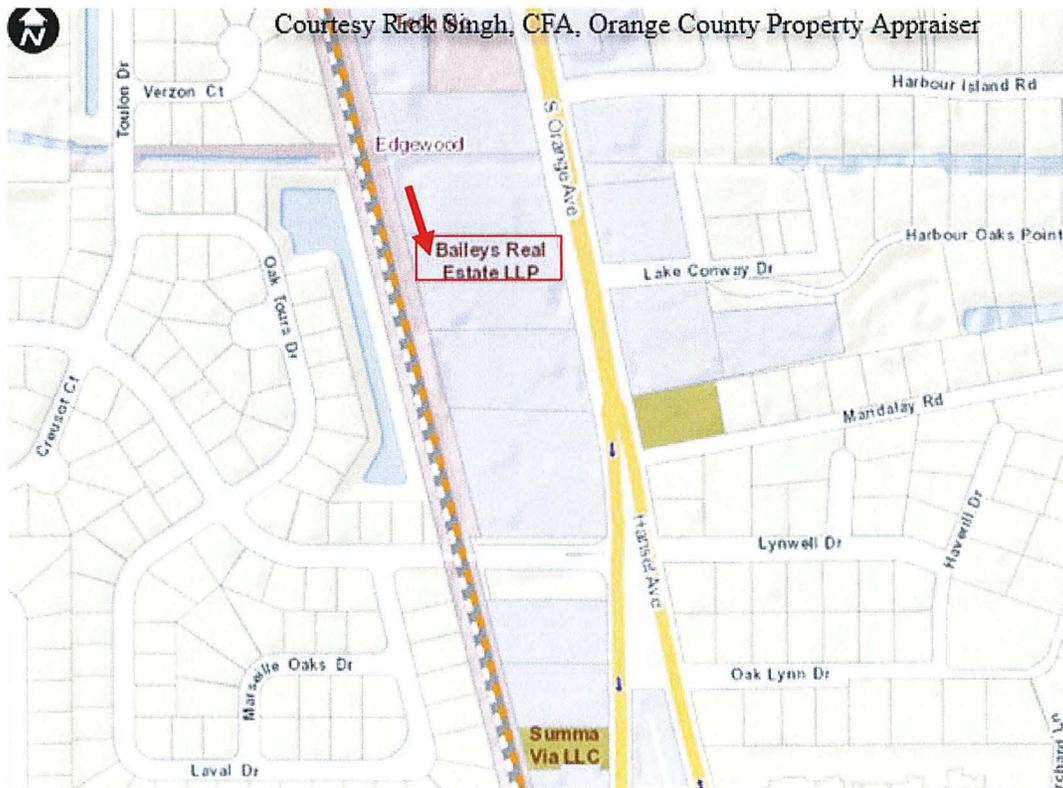


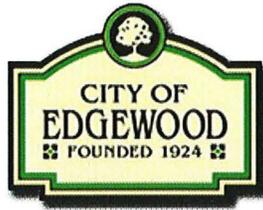
NOTICE OF PUBLIC HEARING

PLEASE TAKE NOTICE that at its Planning & Zoning meeting on **Monday February 10, 2020**, the Planning and Zoning Board of the City of Edgewood, will consider **Variance Application No. 2019-02** to Section 134-608(a) of the City's Code to allow two grassed parking spaces on either side of the historic tree adjacent to the north property line in lieu of the required durable all-weather surface (a total of 4 grass spaces) for the property **located at 5156 S. Orange Avenue which is currently in Edgewood Central District (ECD) zoning district** (City of Edgewood Code of Ordinances, Reference Section 134-104 [Variance]). The meeting will be held in the Council Chambers of City Hall, 405 Bagshaw Way, Edgewood, Florida beginning at **6:30 p.m.** or as soon as possible thereafter.

The Planning and Zoning Board's recommendation will be forwarded to City Council on Tuesday, February 18, 2020 at 6:30 p.m. for final action.

The subject property for variance is legally described as S 38.7 FT OF N $\frac{1}{2}$ OF NW $\frac{1}{4}$ OF SW $\frac{1}{4}$ LYING BETWEEN ACL & HIWAY & N 74.3 FT OF S $\frac{1}{2}$ OF NW $\frac{1}{4}$ OF SW $\frac{1}{4}$ LYING BETWEEN RR & HIWAY IN SEC 13-23-29





Interested parties may attend this meeting and be heard with respect to this Variance application. In addition, the application(s) may be inspected by the public at the City Clerk’s Office, 405 Bagshaw Way, Edgewood, Florida. You may reach City Hall at 407-851-2920; City Hall is open Monday – Thursday 8 a.m. to 4 p.m. and Friday 8 a.m. to noon. Should you have any questions or concerns, please do not hesitate to come to City Hall to review the file.

This matter is subject to quasi-judicial rules of procedure. Interested parties should limit contact with the Planning and Zoning Board and City Council on this topic to properly noticed hearings or to written communication to the City Clerk’s Office.

Any person aggrieved by a recommendation of the Planning and Zoning Board may file a notice of appeal to the City Council within seven days after such recommendation is filed with the city clerk.

The City of Edgewood desires to accommodate persons with disabilities. Accordingly, any physically handicapped person, pursuant to Chapter 286.26, *Florida Statutes*, should, at least 48 hours prior to the meeting, submit a written request that the physically handicapped person desires to attend the meeting to the City Clerk’s Office.

This public hearing may be continued to a future date or dates. Any interested party is advised that the date, time, and place of any continuation shall be announced during the public hearing and that no further notices regarding this matter will be published.

Should you desire additional information, regarding this application, please feel free to contact the City Clerk’s Office at 407-851-2920, or e-mail at sriffle@edgewood-fl.gov.

Sandra Riffle
Deputy City Clerk
Dated: 1/30/2020

You may either mail in your comments and concerns on the space provided below or submit directly to City Hall. Please see above our hours of operation. We thank you for your participation.

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ORDINANCE NO. 2020-01

**AN ORDINANCE OF THE CITY OF EDGEWOOD,
ORANGE COUNTY, FLORIDA AMENDING CHAPTER
134, "ZONING," SECTIONS 134-606 AND 134-607 OF THE
CODE OF ORDINANCES RELATED TO THE USE OF
OFF-SITE PARKING SPACES TOWARD REQUIRED OFF-
STREET PARKING CALCULATIONS AND THE USE OF
SHARED PARKING AGREEMENT; PROVIDING FOR
SEVERABILITY; PROVIDING FOR CODIFICATION,
CONFLICTS, AND EFFECTIVE DATE.**

WHEREAS, Section 134-606 of the Code of Ordinances provides that required off-street parking spaces must be provided on the same lot where the principal use is located or within 300 feet from the pedestrian entrance as measured along the most direct pedestrian route; and

WHEREAS, the City desires to promote development and redevelopment within the City's commercial corridor; and

WHEREAS, the City Council recognizes the tension between configuration of existing lots and site development proposing to maximize use of the land can, from time to time, create challenges in the provision of adequate off-street parking; and

WHEREAS, the City Council also recognizes that a properly implemented shared parking program can alleviate some of the challenges site development can present and create opportunities for greater efficiency of development; and

WHEREAS, the City Council also recognizes, though, that without necessary protections shared parking arrangements can negatively impact future development; and

WHEREAS, the City currently allows off-site off-street parking when the parking spaces so provided are within three hundred feet of the principal entrance of the building for which the parking is required provided that such spaces are not on the opposite side of an arterial road from the building for which the parking is required; and

WHEREAS, the City currently allows shared parking agreements to be used to count parking spaces that fall within the above referenced requirements and which are located on a separate developed lot provided such spaces are not required for the building or buildings located on the donor lot or if the uses on the donor and donee lot occur at such different times that there is not overlap of the demand for the spaces; and

WHEREAS, the City Council desires to extend the allowed distance between the building needing parking spaces and the off-site off-street parking spaces while also providing more protections related to the use of shared parking agreements; and

47 **WHEREAS**, the City Council of the City of Edgewood finds that this Ordinance is in the
48 best interest of the health, safety, and welfare of citizens, businesses, and visitors to the City of
49 Edgewood.

50
51 **NOW, THEREFORE, BE IT ENACTED** by the City Council of the City of
52 Edgewood, Florida as follows:

53
54 **NOTE:** Underlined words constitute additions to the City of Edgewood Code of
55 Ordinances, ~~strikethrough~~ constitutes deletions from the original Code of Ordinances, and
56 asterisks (***) indicate an omission from the existing text which is intended to remain
57 unchanged.

58
59 **Section 1.** Chapter 134, Sections 134-606 and 134-607 of the City of Edgewood
60 Code of Ordinances shall be amended as follows:

61
62 **Sec. 134-606. - Location of off-site off-street parking.**

63 The parking spaces provided for herein shall be provided on the same lot where the principal
64 use is located or within ~~300~~ 1,320 feet from the principal entrance as measured along the most
65 direct pedestrian route from each space to the principal entrance of the building for which the
66 space is to be used as required parking; provided, however, that parking spaces provided across
67 an arterial road from the lot where the principal use is located shall not be counted toward the
68 parking spaces required herein. Off-site off-street parking shall also be subject to following:

- 69 (a) No more than fifty percent of the required parking for a development may be provided
70 through off-site off-street parking;
- 71 (b) No required Americans With Disabilities Act accessible parking spaces may be provided
72 off-site;
- 73 (c) If valet parking is proposed, an on-site vehicle drop-off and pick-up lane shall be
74 provided and included on the site-plan;
- 75 (d) Off-site off-street parking spaces may only be counted toward required parking if such
76 spaces are located on a paved and lined parking area which has been approved by the
77 City for use as a parking area;
- 78 (e) Off-site off-street parking spaces may not be counted toward required parking if such
79 spaces are part of the required parking calculation of any other use unless approved by
80 the City Council based on competent, substantial evidence that the different uses occur
81 at such different times that there would not be overlap of demand for the shared spaces;
- 82 (f) If shared parking agreements are proposed for new development or redevelopment of an
83 existing site, fully executed agreements contingent upon approval by the City shall be
84 submitted to the City no later than submission of an application for site plan review; and
- 85 (g) All shared parking agreements entered after March 17, 2020 and any amendments
86 thereto shall be submitted to the City for approval and must include all of the following:
 - 87 (1) Provision for which party is responsible for the maintenance of parking area;

- 88 (2) Specificity as to the days and/or hours when the shared parking spaces may be used
89 by the party granted use of the shared parking spaces (note: when shared parking
90 spaces are used to satisfy required parking, site plan approval may include a
91 condition that hours of operation are restricted to the hours of availability of the
92 parking spaces);
- 93 (3) Provision that the agreement shall not be terminated for convenience, the number of
94 shared parking spaces shall not be reduced, nor shall the hours of availability of the
95 shared parking spaces be changed without at least twelve (12) months' notice in
96 writing delivered to all parties including the City;
- 97 (4) Provision that the agreement shall benefit and be binding on any subsequent
98 purchaser of either parcel;
- 99 (5) Provision that the agreement shall be recorded in the Official Records of Orange
100 County, Florida;
- 101 (6) Acknowledgement by the grantor of the shared parking spaces that it understands the
102 granting of shared parking spaces may impact future requests for expansion or
103 change of use during the term of the shared parking agreement; and
- 104 (7) Acknowledgment and agreement by the grantee of the shared parking spaces that if
105 such shared parking spaces become unavailable for any reason the grantee must
106 immediately reduce its use of the property benefitted by the shared parking
107 agreement in a manner that existing available parking shall be sufficient to meet the
108 parking requirements of this Code. The grantee shall acknowledge that it
109 understands the loss of shared parking spaces may have negative financial impacts to
110 it and that it accepts the risk of such impacts and shall hold the City harmless from
111 any lawful action taken by the City to cause compliance;
- 112 (8) Inclusion of the City as a party to the agreement for the purpose of enforcing any of
113 the above required provisions;
- 114 (9) Notarized or attested signatures of all parties.
- 115

116 **Sec. 134-607. -- Joint use of off-street parking space. (Reserved).**

117 ~~No part of an off-street parking area required for any building or use for the purpose of~~
118 ~~complying with the provisions of this chapter shall be included as part of any off-street parking~~
119 ~~area similarly required for another building or use, except in the case where the parking demands~~
120 ~~of different uses occur at different times. The following requirements must be satisfied in order~~
121 ~~to comply with this exception:~~

- 122 (1) ~~A notarized statement from all property owners involved indicating that the activities~~
123 ~~of each separate building or use which creates a demand for parking shall occur at~~
124 ~~different times. Such statement must include an agreement between the parties involved~~
125 ~~indicating responsibility for maintenance of the parking area.~~
- 126 (2) ~~Such agreement shall run with the duration of the occupational licenses of all~~
127 ~~buildings or uses involved in the agreement and shall be required to be renewed at the~~
128 ~~time of occupational license renewal. Where an occupational license is not required,~~

129 ~~then the agreement shall run with the duration of the uses. Nothing in this chapter shall~~
130 ~~be construed to prevent the joint use of off street parking space by two or more~~
131 ~~buildings or uses, if the total of such spaces, when used together, shall not be less than~~
132 ~~the sum of the requirements for the various individual uses of buildings computed~~
133 ~~separately.~~

134
135 **Section 2.** The provisions of this Ordinance shall be codified as and become and be
136 made a part of the Code of Ordinances of the City of Edgewood.
137

138 **Section 3.** If any section, sentence, phrase, word or portion of this ordinance is
139 determined to be invalid, unlawful or unconstitutional, said determination shall not be held to
140 invalidate or impair the validity, force or effect of any other section, sentence, phrase, word or
141 portion of this Ordinance not otherwise determined to be invalid, unlawful or unconstitutional.
142

143 **Section 4.** All ordinances that are in conflict with this Ordinance are hereby repealed.
144

145 **Section 5.** This Ordinance shall become effective immediately upon its passage and
146 adoption.
147

148 **PASSED AND ADOPTED** this _____ day of _____, 2020, by the City
149 Council of the City of Edgewood, Florida.
150

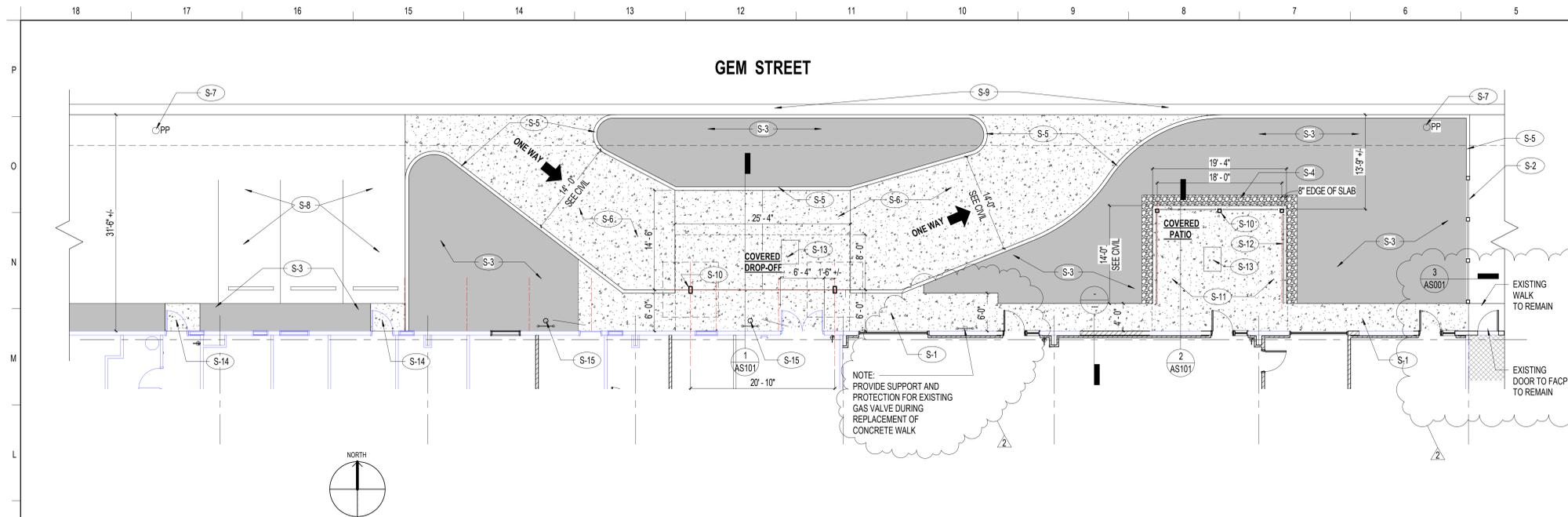
151 PASSED ON FIRST READING: _____
152

153 PASSED ON SECOND READING: _____
154

155 _____
156 Richard A. Horn, Council President
157

158 *ATTEST:*
159

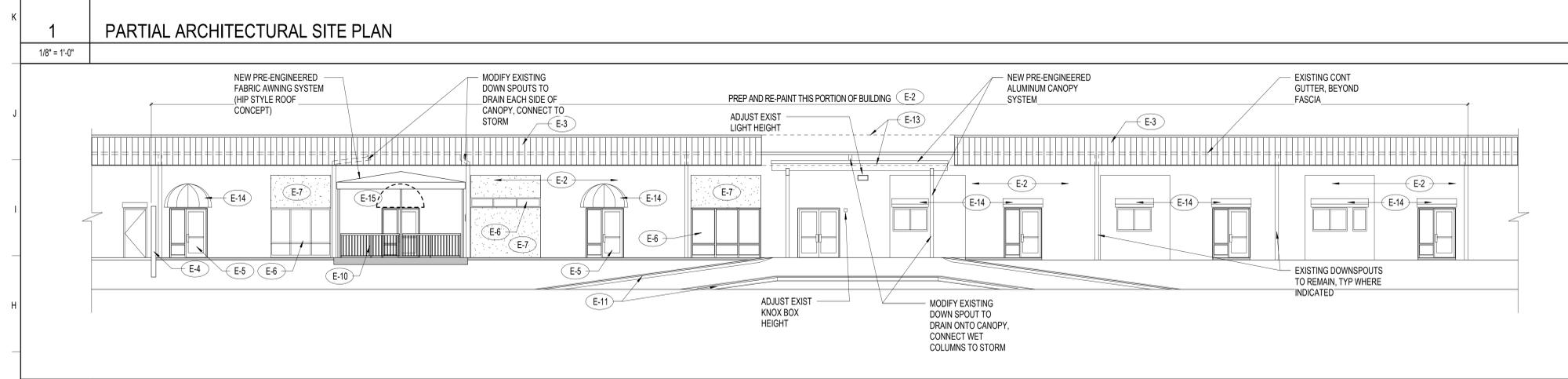
160 _____
161 Bea L. Meeks
162 City Clerk



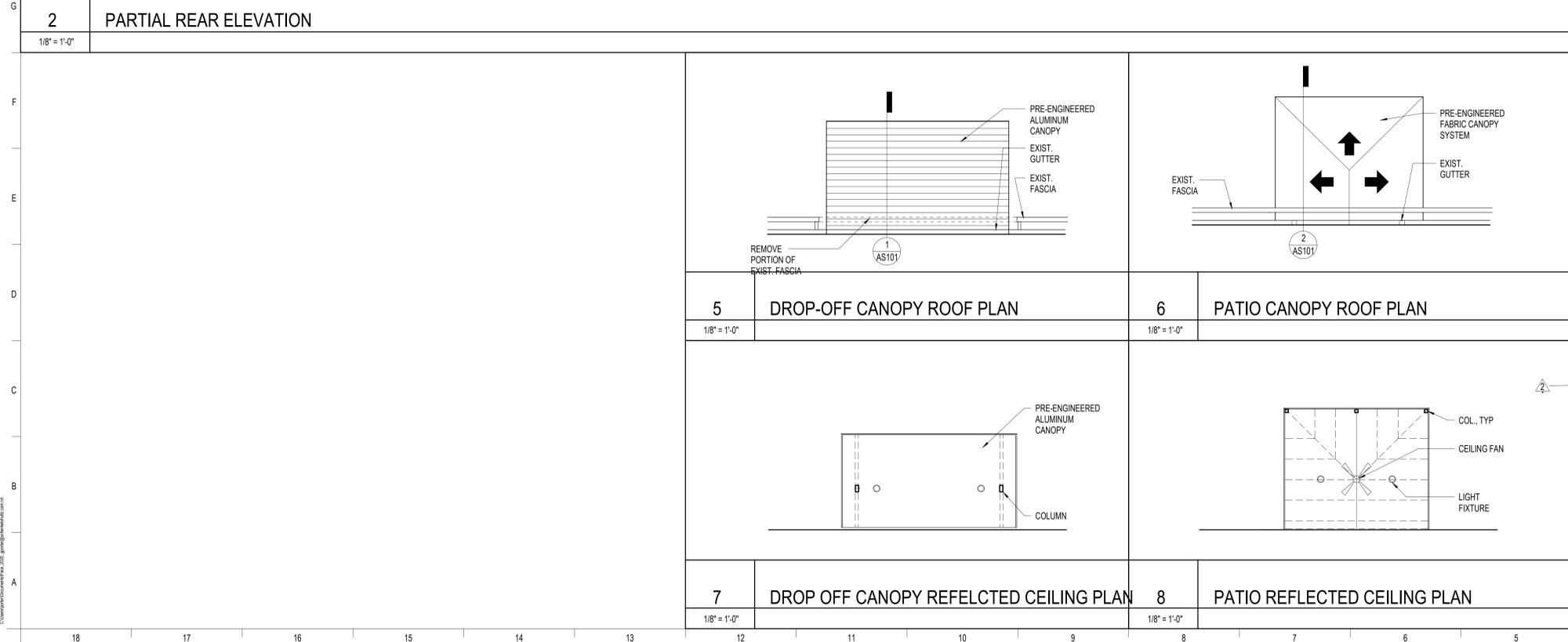
- TAG S-X SITE PLAN KEYNOTES**
- S-1. REMOVE EXISTING CONCRETE WALK, INCLUDING ALL BOLLARDS AT OVERHEAD DOORS. RE-FORM AND POUR NEW CONCRETE WALK IN SAME LOCATION. ADJUST WALK AS REQUIRED TO ACCOMMODATE ALL WATER VALVE BOXES, GAS LINES & METERVALVES AND DOWNSPOUT CONNECTIONS. U.N.O.
 - S-2. NEW 6'-0" HIGH PVC FENCING / VISUAL SCREEN.
 - S-3. SOD AND LANDSCAPE, REFER TO LANDSCAPE PLAN.
 - S-4. 2'-0" WIDE GRAVEL SPLASH AT GRADE FOR ROOF WATER DRIP.
 - S-5. POURED CONCRETE CURB, SEE CIVIL.
 - S-6. POURED CONCRETE DRIVE AND DROP-OFF APRON. SEE CIVIL.
 - S-7. EXISTING POWER POLE APPROXIMATE LOCATION.
 - S-8. PROVIDE NEW TOP COAT AND SEALER FOR EXISTING PAVEMENT TO REMAIN AND RESTRIPE PARKING SPACES.
 - S-9. EXISTING CONCRETE GUTTER TO REMAIN.
 - S-10. CANOPY COLUMN, PART OF PRE-ENGINEERED CANOPY SYSTEM.
 - S-11. POURED CONCRETE PATIO SLAB.
 - S-12. 42" HIGH ALUMINUM GUARDRAILING.
 - S-13. REMOVABLE SOLID GRATE COVER AT COVERED PATIO. HEAVY DUTY PEDESTRIAN GRATE AT COVERED DROP-OFF CANOPY. SEE CIVIL DRAWINGS.
 - S-14. PROVIDE 5'-0" WIDE X 4" THICK CONCRETE SLAB AT EXISTING EXIT DOORS. TO BE FLUSH WITH FINISH FLOOR.
 - S-15. EXISTING BOLLARD TO REMAIN.

SITE PLAN KEYNOTES

- TAG E-X EXTERIOR ELEVATION KEYNOTES**
- E-1. REMOVE EXISTING CANOPY SYSTEM IN ITS ENTIRETY. (COLUMNS, FOUNDATIONS, ROOF AND ROOF FRAMING.)
 - E-2. REPAINT EXISTING EXTERIOR BUILDING STUCCO.
 - E-3. PREP AND REPAINT EXISTING METAL PANEL FASCIA SYSTEM, ALL SIDES.
 - E-4. NEW 6'-0" HIGH PVC FENCING.
 - E-5. NEW ALUM STOREFRONT DOOR & SIDELIGHT.
 - E-6. NEW ALUM STOREFRONT WINDOW.
 - E-7. NEW STUCCO ON METAL STUD FRAMED INFILL WALL. MATCH BUILDING TEXTURE.
 - E-8. NEW PRE-ENGINEERED COVERED PATIO STRUCTURE WITH FABRIC COVER.
 - E-9. NEW PRE-ENGINEERED ALUMINUM DROP-OFF CANOPY SYSTEM.
 - E-10. NEW 42" HIGH ALUM GUARDRAILING. SEE DETAIL 6 / AS100.
 - E-11. NEW FORMED & POURED CONCRETE CURBS. SEE CIVIL.
 - E-12. EXISTING STOREFRONT ENTRY DOORS TO REMAIN.
 - E-13. REMOVE PORTION OF EXISTING METAL PANEL FASCIA. SEE STRUCTURAL DWGS FOR INFO TO RE-SUPPORT CUT ENDS. PREP AND RE-PAINT PORTIONS TO REMAIN.
 - E-14. REMOVE AND REPLACE FABRIC FROM ALL AWNING CANOPIES. RE-USE EXISTING FRAMES. UNO.
 - E-15. REMOVE AND DISCARD FABRIC WRAPPED AWNING CANOPY, THIS LOCATION. REPAIR HOLES IN WALLS AND PAINT.



EXTERIOR ELEVATION KEYNOTES



SCHENKELSHULTZ
ARCHITECTURE

200 East Robinson Street
Suite 300
Orlando, Florida 32801
voice 407.872.3322
fax 407.872.3303
schenkelshultz.com
SS Lic. No. -

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comm no.: 1620810
drawn Author
checked: Checker

Revision Schedule		
No.	Description	Date
1	CITY OF EDOORWOOD COMMENTS	01-11-2020

Cornerstone Hospice

Project Address:
5655 South Orange Avenue
Orlando, Florida

Cornerstone Hospice / Pace Program
2445 Lane Park Road
Tavares, Florida 32778

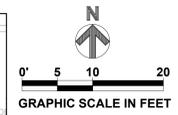
**ARCHITECTURAL SITE PLAN,
CANOPY PLANS &
ELEVATIONS**

AS001

Submittal:
PERMIT / BID SET

Issue Date:
AUG 30, 2019

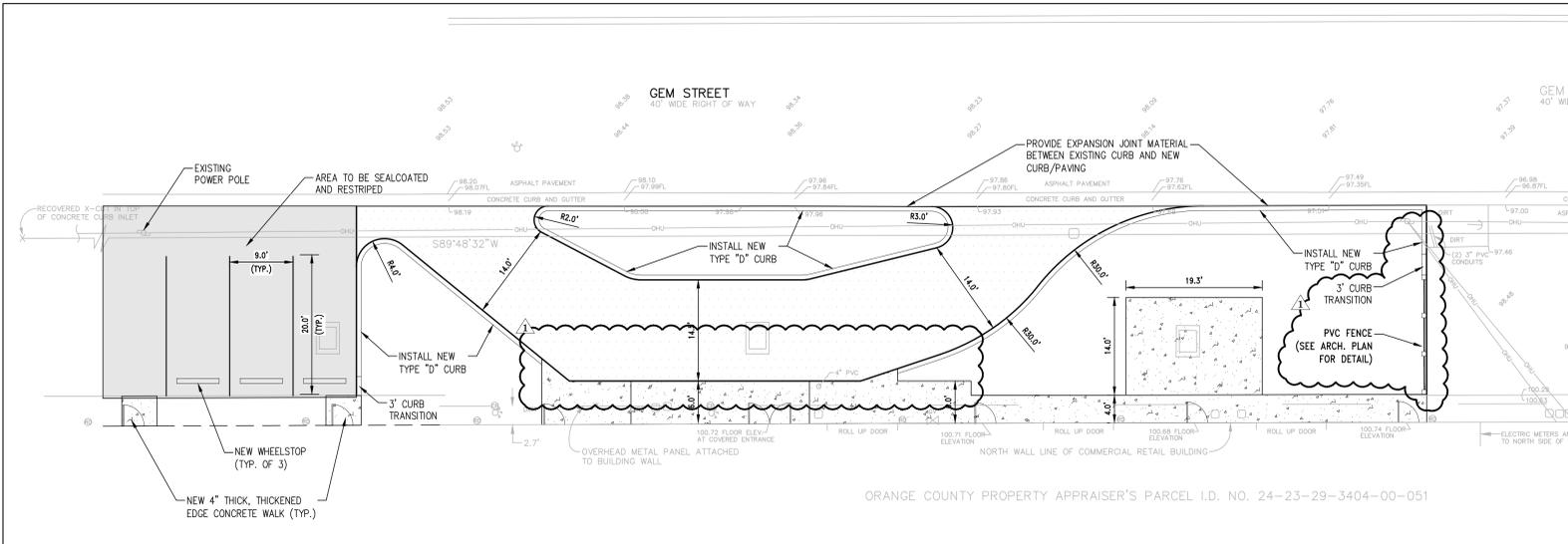
1/20/2019 10:30:11 AM
C:\Users\jshultz\OneDrive\Documents\AS001 - gemshelshultz.com.rvt



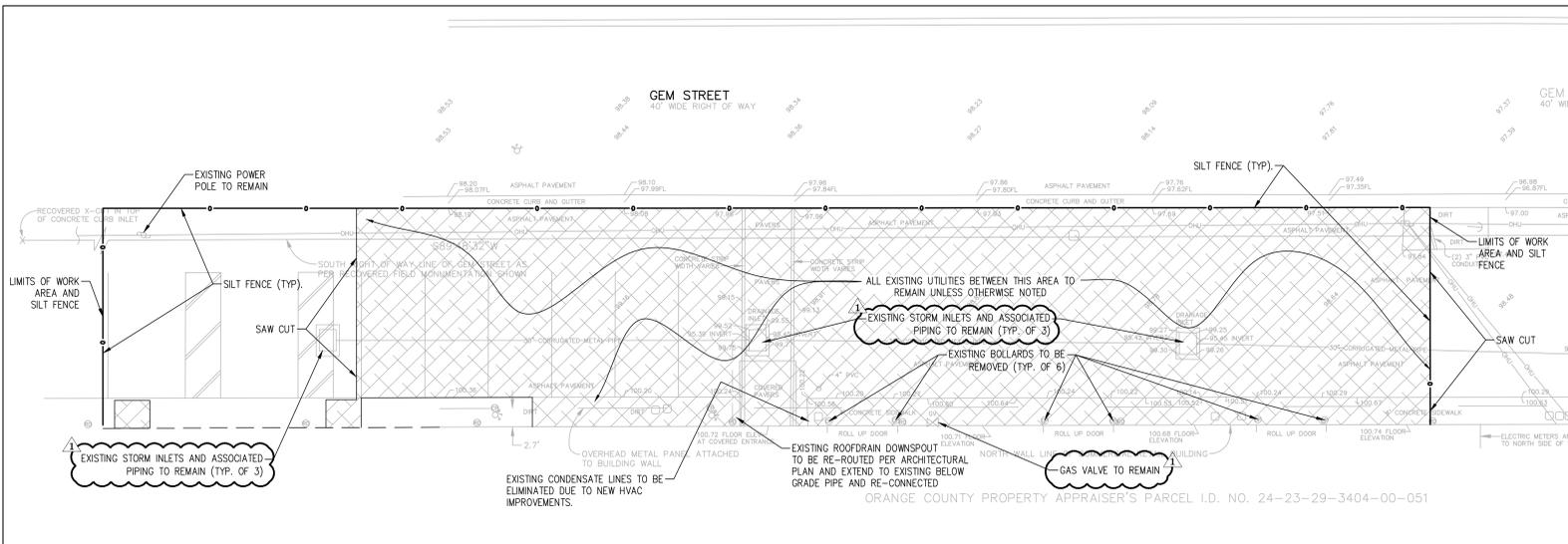
LEGEND:

- SILT FENCE (SEE DETAIL ON C200)
- 6" THICK CONCRETE (SEE DETAIL ON C200)
- CLEAR AND GRUB, ALL EXISTING UTILITY BETWEEN THIS AREA TO REMAIN UNLESS OTHERWISE NOTED.
- CONCRETE WALK (SEE DETAIL ON C200)
- SEALCOAT AND RESTRIPE

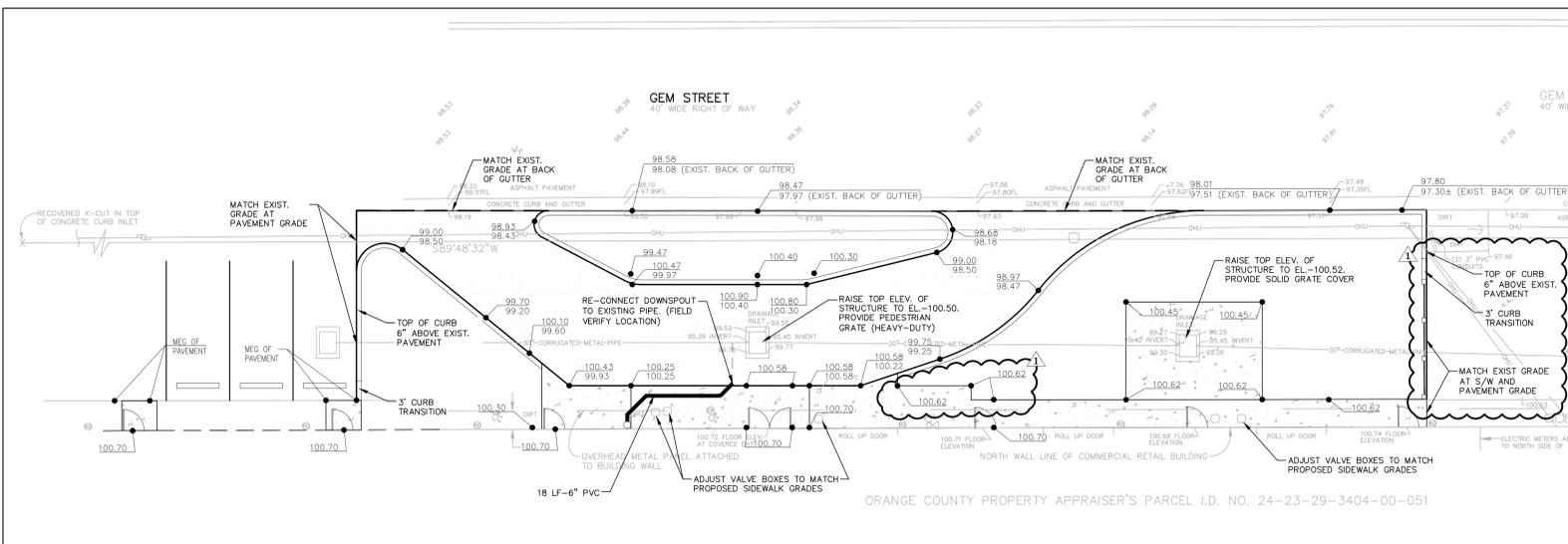
NOTE:
REFER TO FOOT ROADWAY AND TRAFFIC DESIGN STANDARDS FOR THE FOLLOWING:
A. TYPE D CURB (INDEX NO. 520-001)
B. CONCRETE BUMPER GUARD (WHEEL STOP) (INDEX NO. 520-001)



SITE PLAN



DEMOLITION PLAN



GRADING PLAN

drawn: JAK
checked: JAK

Revision Schedule		
No.	Description	Date
1	SITE COORDINATION	01/17/2020

Cornerstone Hospice / Pace Program

Project Address:
5655 South Orange Avenue
Orlando, Florida

Cornerstone Hospice / Pace Program
2445 Lane Park Road
Tavares, Florida 32778

SITE PLAN,
DEMOLITION PLAN,
& GRADING PLAN

C100

Certificate of Authorization No. 9230



Jay A. Klima P.E. # 49945

Submittal: 100% CD's
Issue Date: August 30, 2019

RELEASED FOR CONSTRUCTION

drawn: JAK
checked: JAK

Revision Schedule		
No.	Description	Date
1	site plan coordination	2020-01-17

Cornerstone Hospice / Pace Program

Project Address:
5655 South Orange Avenue
Orlando, Florida

Cornerstone Hospice / Pace Program
2445 Lane Park Road
Tavares, Florida 32778

IRRIGATION PLAN
& NOTES

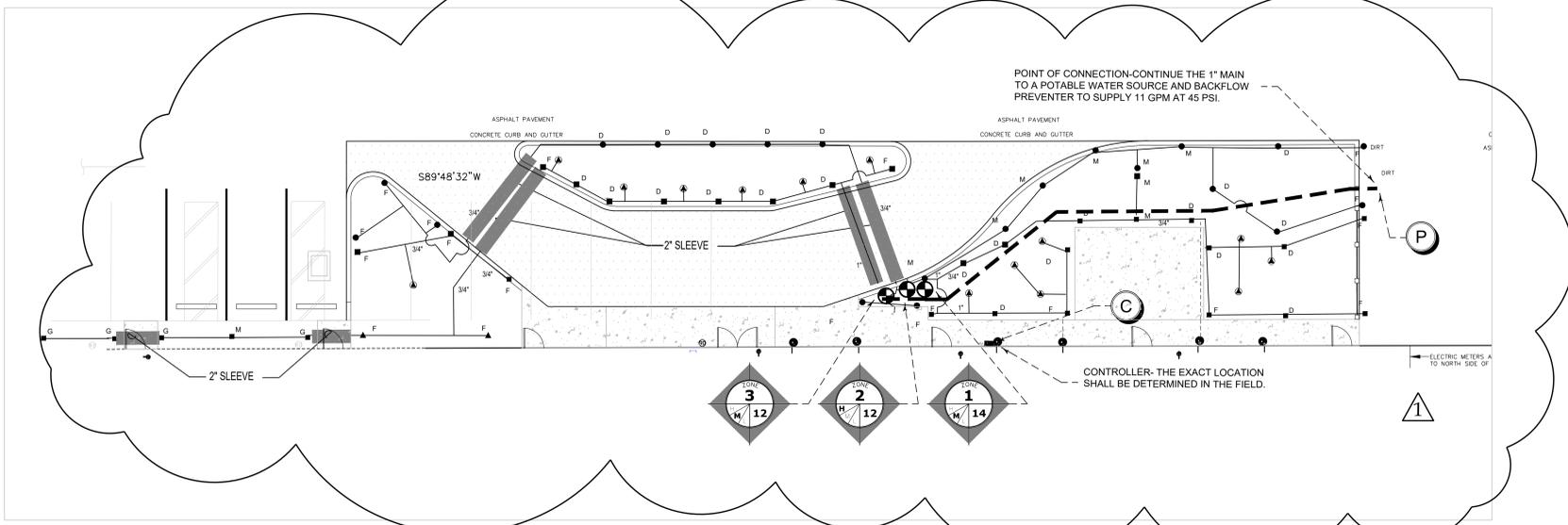
L102

Submital:
100% CD's
Issue Date:
August 30, 2019



BONNETT design group, llc
landscape architecture
community planning
FL LC 26000341
400 South Orlando Ave, Suite 201
Maitland, FL 32751
407.622.1588 voice
407.358.5363 fax

Todd W. Bonnett, RLA
FL 0001718



GENERAL NOTES

- REFER TO THE LANDSCAPE PLANS WHEN TRENCHING TO AVOID TREES AND SHRUBS. HAND DIG AROUND ANY EXISTING TREES. DO NOT CUT ANY ROOTS OVER 2" IN DIAMETER.
- ALL MAINLINE PIPING SHALL BE BURIED TO A MINIMUM DEPTH OF 18" OF COVER. ALL LATERAL PIPING SHALL BE BURIED TO A MINIMUM DEPTH OF 12" OF COVER.
- ALL POP-UP ROTORS AND SPRAYS SHALL BE INSTALLED USING AN 18" PVC FLEX PIPE CONNECTION. DO NOT USE POLYETHYLENE PIPE. USE WELDON 737 OR RED HOT CHRISTY'S BLUE GLUE ON ALL CONNECTIONS.
- ADJUST ALL NOZZLES TO REDUCE WATER WASTE ON HARD SURFACES & BLDG. WALLS. THROTTLE ALL VALVES ON SHRUB LINES AS REQUIRED TO PREVENT FLOODING. USE ADJUSTABLE NOZZLES WHERE REQUIRED TO AVOID ANY WATER ON BUILDING WINDOWS.
- ALL RISERS SHALL BE PAINTED BLACK OR A COLOR CHOSEN BY THE OWNER'S REPRESENTATIVE (IF ALLOWED BY CODE) AND SHALL BE STAKED WITH A STEEL ANGLE AND SECURED WITH PVC UTRAVOLET LIGHT PROTECTED PVC CLAMPS. RECLAIMED SYSTEMS MAY REQUIRE THE PIPE TO BE PURPLE.
- ALL CONTROL WIRE SPLICES SHALL BE MADE IN VALVE BOXES USING 3M DRY-Y WIRE CONNECTORS AND SEALANT WITH WIRE NUTS.
- THE CONTRACTOR SHALL PREPARE AN AS-BUILT DRAWING SHOWING ALL IRRIGATION INSTALLATION. THE CONTRACTOR SHALL NEATLY MARK IN RED INK ON A WHITE BOND PAPER COPY OF THE IRRIGATION PLAN ANY INSTALLATION THAT DEVIATES FROM THE PLAN. THE AS-BUILT DRAWING SHALL ALSO LOCATE ALL MAINLINE AND VALVES BY SHOWING EXACT MEASUREMENTS FROM HARD SURFACES. MEASUREMENTS SHALL BE MARKED ON THE PLAN EVEN WHEN THE EQUIPMENT IS INSTALLED IN THE EXACT LOCATION AS THE PLAN.
- ALL VALVES, GATE VALVES AND QUICK COUPLERS SHALL BE INSTALLED IN VALVE BOXES. THE VALVE BOXES SHALL BE PURPLE WHEN USING RECLAIMED WATER.
- ANY PIPING SHOWN OUTSIDE THE PROPERTY LINE OR RUNNING OUTSIDE A LANDSCAPE AREA IS SHOWN THERE FOR CLARITY ONLY. ALL LINES SHALL BE INSTALLED ON THE PROPERTY AND INSIDE THE LANDSCAPE AREAS OR INSIDE A SCH. 40 SLEEVE.
- ALL HEADS SHALL BE INSTALLED A MINIMUM OF 24" FROM ANY WALL AND A MINIMUM OF 6" FROM ANY SIDEWALK, PATIO OR ROAD. MINIMUM OF 2" WHERE THERE ARE NO BARRIERS STOP THE EXACT HEIGHT OF ANY 12" POP-UP THAT IS SHOWN IN A SHRUB BED SHALL BE DETERMINED BY THE OWNER'S REPRESENTATIVE IN THE FIELD.
- THE CONTRACTOR SHALL EXERCISE CARE SO AS NOT TO DAMAGE ANY EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE IMMEDIATE REPAIRS AND COST OF ANY DAMAGE CAUSED BY THEIR WORK.
- ALL WORK SHALL BE GUARANTEED FOR ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE AGAINST ALL DEFECTS IN EQUIPMENT AND WORKMANSHIP (OR AS OUTLINED IN THE WRITTEN SPECIFICATIONS).
- ELECTRICAL SERVICE TO LOCATION OF THE CONTROLLER, WELL OR PUMP SHALL BE PROVIDED TO A JUNCTION BOX OR DISCONNECT AT THE EQUIPMENT LOCATION BY THE ELECTRICAL CONTRACTOR OR BY OWNER WHEN IT IS NOT PART OF THE BID PACKAGE. CONFIRM THE LOCATION OF THE CONTROLLER WITH THE OWNER OR GENERAL CONTRACTOR BEFORE ANY INSTALLATION.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO SCALE THE PLAN AND CHECK NOZZLE TYPES TO DETERMINE THE CORRECT SPACING OF THE HEADS. THE CONTRACTOR SHALL NOT SPACE THE HEADS FURTHER APART OR USE LESS HEADS THAN SHOWN ON THE PLAN. ANY CHANGES TO THE HEAD SPACING OR LAYOUT, WITHOUT THE CONSENT OF THE LANDSCAPE ARCHITECT OR OWNER, SHALL HOLD THE IRRIGATION CONTRACTOR RESPONSIBLE FOR WARRANTY OF THE PLANTS AND OR SOO IN THESE AREAS.
- 48 HOURS BEFORE DIGGING, CALL 1-800-432-4770 (SUNSHINE STATE ONE CALL CENTER).

LEGEND

Symbol	Description
●	HUNTER PRS40 SPRAY SERIES 6" POP-UP
■	HUNTER PRS40 SPRAY SERIES 12" POP-UP
▲	HUNTER PRS40 SPRAY SERIES 12" POP-UP ON RISER
⊙	TWO HUNTER AFB ADJUSTABLE FLOOD BUBBLERS PER TREE.
---	CLASS 200 PVC MAINLINE-1"
---	CLASS 200 PVC LATERAL LINE- SIZE AS SHOWN UNTIL A SMALLER SIZE IS SHOWN. MINIMUM SIZE OF 3/4" (EXCEPT RISERS AND FLEX PIPE)
---	SCH. 40 SLEEVE (MINIMUM OF 24" DEPTH AND 2 SIZES LARGER THAN THE PIPE SIZE OR AS LABELED ON THE PLAN)
⊕	HUNTER ICV 1" ELECTRIC VALVE. SIZE AS SHOWN BELOW. INSTALL VALVE IN A 11"X17" VALVE BOX AND COVER
⊙	CONTROLLER- HUNTER I-CORE SERIES 6 STATION. REFER TO NOTE ON THE PLAN. INSTALL WITH A HUNTER WIRELESS MINI-CLICK RAIN SENSOR. GROUND WITH A MINIMUM 6" COPPER CLAD ROD. SLEEVE TO AS REQUIRED.
⊕	POINT OF CONNECTION- REFER TO NOTE ON THE PLAN.

NOZZLE CHART

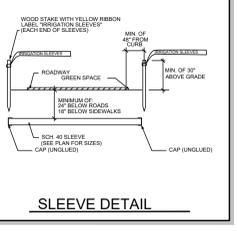
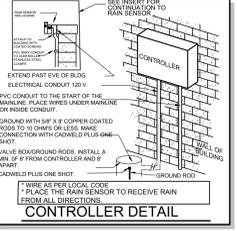
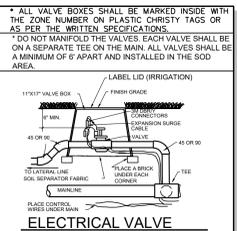
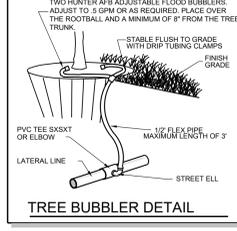
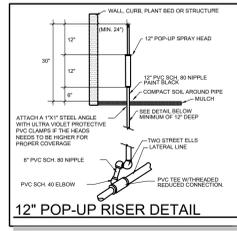
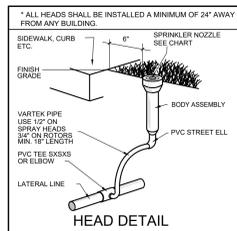
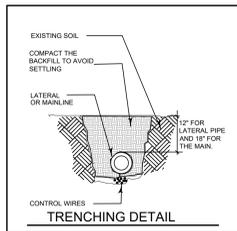
LETTER	PRODUCT SPEC.	G.P.M. @ 40PSI	RADIUS	RADIUS/ANGLE	ZONE LABELS
A	MP2000	1.47	19'	FULL CORNER	360°
B	MP CORNER	.45	14'	CORNER	105°
C	MP CORNER	.19	14'	CORNER	45°
D	MP2000	.74	19'	HALF	180°
E	MP3000	2.86	30'	HALF	180°
F	MP2000	.40	19'	QUARTER	90°
G	MP STRIP	.22	5' X 15'	END STRIP	90°
H	RAINBIRD SQ-H	.23	4.5'	HALF PATTERN	270°
J	MP1000	.50	14'	THREE QTR.	270°
K	MP1000	.75	14'	FULL PATTERN	360°
M	MP SIDE STRIP	.44	5' X 30'	HALF PATTERN	180°
P	MP3500	2.86	30'	HALF PATTERN	180°
R	MP1000	.19	14'	HALF	180°
S	MP SR SERIES	.42	14'	QUARTER	90°
T	MP1000	.37	14'	HALF	180°
V	MP3000	.86	30'	QUARTER	90°
W	MP3000	1.82	30'	HALF	180°
X	MP3000	2.73	30'	THREE QTR.	270°
Y	MP3000	3.64	30'	FULL	360°
Z	MP2000	1.10	19'	THREE QTR.	270°

THE NOZZLES LISTED SHOW THE TYPE OF MP ROTATOR NOZZLE THAT SHOULD BE USED. THE CONTRACTOR SHOULD INSTALL THE MP SERIES NOZZLE IN EACH HEAD AS SHOWN BY THE LETTER BESIDE THE HEAD ON THE PLAN. THE GPM, DISTANCE AND ANGLE ON THE NOZZLE CHART ARE APPROXIMATE. THE CONTRACTOR SHALL ADJUST ALL NOZZLES TO PROVIDE THE 100% COVERAGE, BUT NOT OVERTROW ON TO BUILDINGS, WALLS, PAVEMENT, ETC. THE HEADS SHALL BE SPACED AS PER THE PLAN. SCALE THE PLAN FOR DISTANCE. DO NOT ASSUME THAT ALL HEADS ARE SPACED AS PER CONVENTIONAL SPRAY HEADS. THE PRECIPITATION RATE FOR THESE NOZZLES IS LESS THAN A CONVENTIONAL SPRAY NOZZLE. FOLLOW THE ZONE CHART FOR AN APPROXIMATE RUN TIME FOR EACH ZONE, BUT SET THE RUN TIME ON THE CONTROLLER BASED ON THE SPECIFIC SITE CONDITIONS.

ZONE CHART

ZONE	GPM	HEAD TYPE	WATER USE	PRECIP. RATE (in. per hour)	RUN TIME (minutes)
1	14	Spray	MEDIUM	0.75	40
2	12	Spray	HIGH	0.75	40
3	12	Spray	MEDIUM	0.75	40

THIS CHART IS PROVIDED AS A GENERAL OUTLINE ONLY AND IS BASED ON PROVIDING APPROXIMATELY 1 INCH OF WATER PER WEEK. THE CONTRACTOR SHALL BE RESPONSIBLE TO SET THE RUN TIMES ON THE CONTROLLER BASED FOR THE SPECIFIC SITE CONDITIONS. THIS SHALL INCLUDE, BUT NOT LIMITED TO SOIL, WEATHER, PLANT NEEDS AND ESTABLISHMENT PERIOD. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE TO CHECK EQUIPMENT QUANTITIES AND SHALL BE RESPONSIBLE TO INSTALL AND INCLUDE IN THE PROPOSAL ALL EQUIPMENT SHOWN ON THE PLAN. THE PLAN OVERRIDES ANY ERRORS IN QUANTITIES.



SITE DATA

JURISDICTION: (permitting)

SITE PERMITTING -	CITY OF EDGEWOOD
WATER -	OUC
SEWER -	ORANGE COUNTY
STORMWATER MANAGEMENT DISTRICT -	SOUTH FLORIDA WATER MANAGEMENT DISTRICT

PROJECT SCOPE:

TO DEMOLISH AN EXISTING OFFICE BUILDING AND CONSTRUCT A NEW 2 STORY BUILDING WITH APPLICABLE INFRASTRUCTURE.

PROPERTY LOCATION:

5156 SOUTH ORANGE AVENUE

PARCEL ID No. :

13-23-29-0000-00-007

PROPERTY ZONING:

EXISTING ZONINE ECD

EXISTING LAND USE:

COMMERCIAL

PROPOSED FAR

12,444 / 41,802 SF = 0.30

EXISTING PROPERTY AREA:

TOTAL = 0.96 ACRES

BUILDING DATA & SETBACKS

MAXIMUM BUILDING HEIGHT = 35 FEET
 PROPOSED BUILDING HEIGHT = 2 FLOORS
 MINIMUM BUILDING SETBACKS:
 FRONT EAST = 15'
 SIDE NORTH = 5'
 SIDE SOUTH = 5'
 REAR WEST = 15'

1ST FLOOR
 5,664 GSF
 2ND FLOOR
 6,780 GSF
 TOTAL GSF =
 12,444 SF

PARKING SPECIFICATIONS:

PARKING SPACES REQUIRED
 CODE - GENERAL ESTABLISHMENT = 1 / 300 SF OF FLOOR AREA = 4,150 SF FLOOR AREA / 300 = 14
 1/200 SF OF OFFICE AREA = 600/200 = 3 SPACES = 17 SPACES REQ. 1ST FLOOR
 OFFICE 2ND FLOOR = 1/200 SF OF OFFICE AREA = 5,089 SF / 200 = 26 SPACES = 43 TOTAL SPACES REQUIRED
 5% OR 2 SPACES
 REDUCTION TOTAL PROVIDED = 41 TOTAL SPACES

PROPOSED LOT COVERAGE CALCULATIONS:

	AREA (sf)	ACRES	% TOTAL
PARKING, D/W & S/W AREA	21,094	0.48	50.46
BUILDING	5,664	0.13	13.55
TOTAL IMPERVIOUS	26,658	0.61	63.77
POND AREA	5,280	0.12	12.63
OPEN SPACE / GREEN SPACE	9,864	0.23	23.60
TOTAL AREA	41,802	0.96	100.0

FLOOD ZONE:

THE LOT DESCRIBED HEREON WAS DETERMINED TO LIE WITHIN FLOOD ZONE "X"

BICYCLE PARKING

1 SPACE PER 10 PARKING SPACES
 41 PARKING SPACES = 5 BIKE SPACES
 5 BIKE SPACES PROVIDED
 MIN TUBE DIAMETER = 1.9"

SIGN LEGEND

NO TEXT OR SYMBOL SIZE
 R1-1 STOP 30"x30"
 ALL SIGNS SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.

STRIPING NOTES

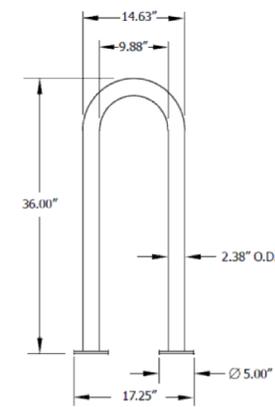
- TYPICAL PARKING SPACE SHALL BE STRIPED WITH A 4" WHITE PAINTED STRIPE.
- HANDICAP PARKING TO COMPLY WITH ADA.
- TYPICAL STOP BAR SHALL BE 24" WIDE WHITE RETROREFLECTIVE STRIPE.
- STOP BARS AND CROSSWALKS SHALL BE RETROREFLECTIVE.

PROPOSED CONSTRUCTION NOTES:

ALL DIMENSIONS SHOWN ARE TO THE FACE OF CURB, UNLESS OTHERWISE NOTED.
 CONCRETE SIDEWALK RAMP SHALL BE INSTALLED ACCORDING TO F.D.O.T. INDEX 304 OR A.D.A. STANDARDS, WHICHEVER IS MORE RESTRICTIVE.
 ALL STRUCTURES, INCLUDING, DUMPSTERS, SIGNAGE, ETC. REQUIRE SEPARATE BUILDING PERMITS.
 ALL ITEMS RELATED TO BUILDING SHALL REFER TO ARCHITECTURAL PLANS INCLUDING BUILDING DIMENSIONS AND ANY ITEMS LOCATED UNDER UNDER BUILDING ROOF

LIGHTING NOTES

- FLOOD LIGHT WILL BE AFFIXED TO WEST SIDE OF BLDG FOR PARKING LOT

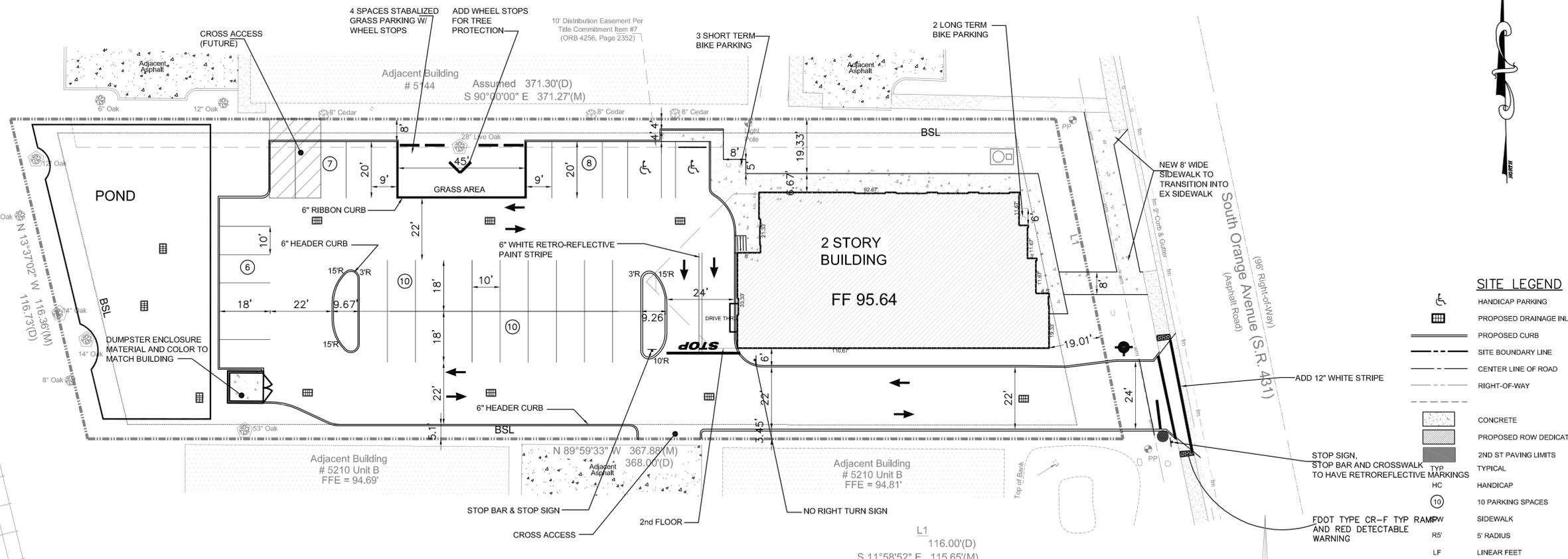


BIKE RACK DETAIL

ANOVA LBR3P9SURF OR EQUIVALENT LOOP TO HOLD 3 BIKES
 2.38" OD TUBE X 11 GAUGE WALL STEEL TUBING
 POWDER COATED STEEL TUBING IN BLACK

EX. PROP.	ITE	UNITS	ADT	PEAK HOUR	PM IN	PM OUT
	710	2.4	26	4	1	3
	710	12.4	137	18	3	15

TRAFFIC IMPACTS



SITE LEGEND

- HANDICAP PARKING
- PROPOSED DRAINAGE INLET
- PROPOSED CURB
- SITE BOUNDARY LINE
- CENTER LINE OF ROAD
- RIGHT-OF-WAY
- CONCRETE
- PROPOSED ROW DEDICATION
- 2ND ST PAVING LIMITS
- TYPICAL
- HANDICAP
- 10 PARKING SPACES
- SIDEWALK
- 5' RADIUS
- LINEAR FEET
- SQUARE FEET
- BURIED ELECTRIC



CIVIL ENGINEERS LAND PLANNERS

1614 White Dove Drive
 Winter Springs, Florida 32708
 Tel: (407) 405-7819

KIM@CYCORPENGINEERS.COM

ORANGE AVE PHARMACY

5156 S ORANGE AVE
 EDGEWOOD

REVISIONS

Description	Date	By
1. city comments	12/26/19	KF
2. city comments	1/11/20	KF
3. city comments	1/27/20	

SITE PLAN

Date: JUNE 2019

Scale: 1:20

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY KIM FISCHER, PE ON THE DATE AND/OR TIME STAMP SHOWN USING A DIGITAL SIGNATURE.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

Signature:
 KIM FISCHER, P.E. # 56942
 NOT VALID UNLESS SIGNED & EMBOSSED BY A REGISTERED ENGINEER

Sheet Number: 4

REVISIONS

Description	Date	By
1. city comments	12/26/19	KF
2. city comments	1/11/20	KF
3. city comments	1/27/20	

GRADING
PLAN

Date: JUNE 2019

Scale: 1:20

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY KIM FISCHER, PE ON THE DATE AND/OR TIME STAMP SHOWN USING A DIGITAL SIGNATURE.

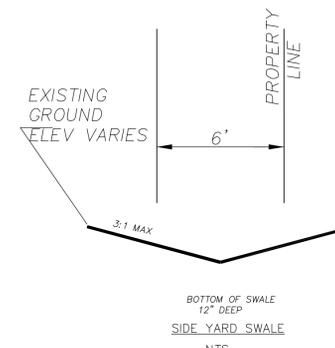
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Sheet Number: 5

DRAINAGE STRUCTURES

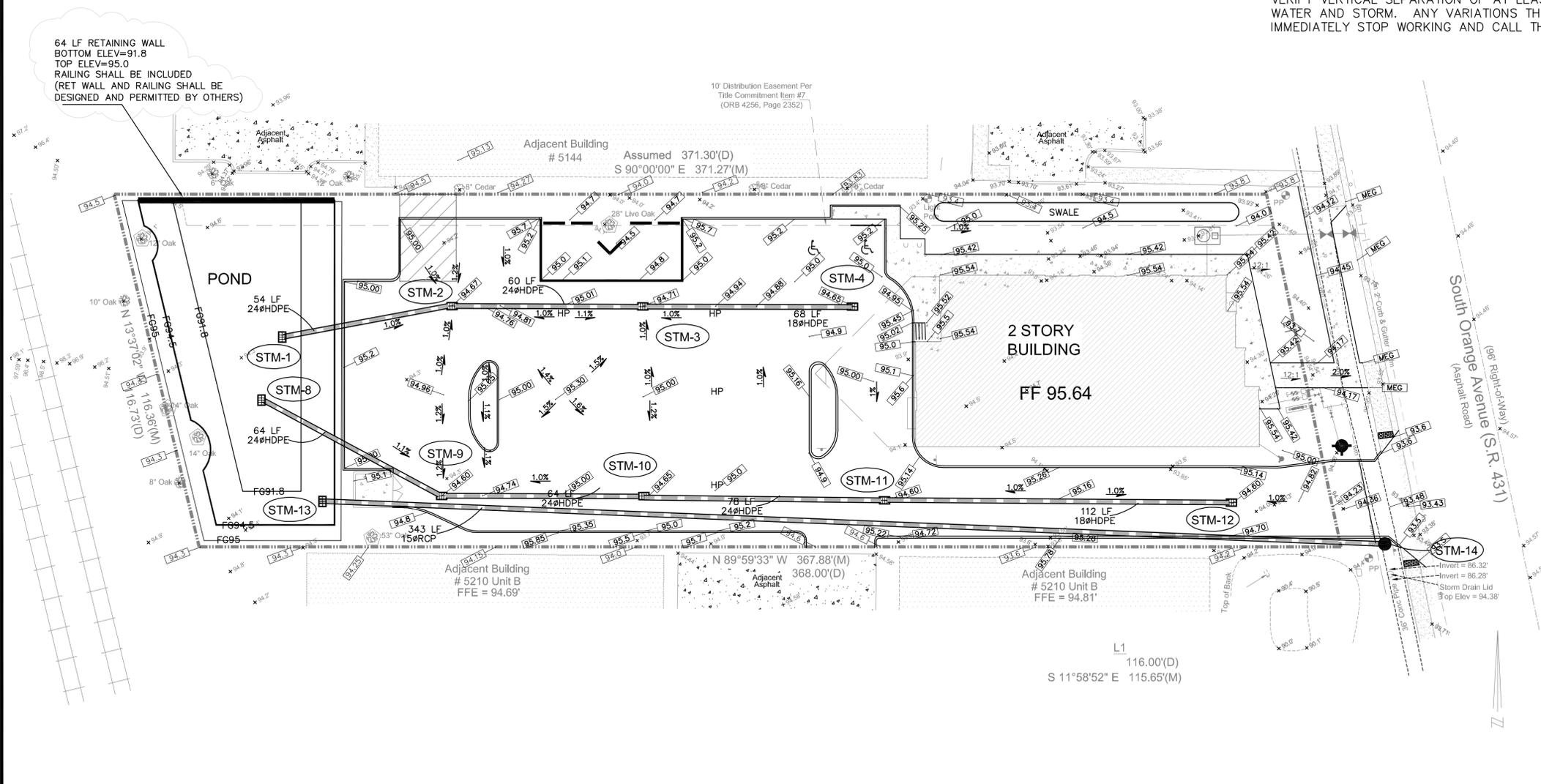
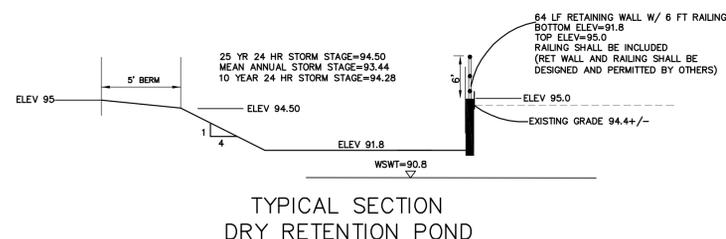
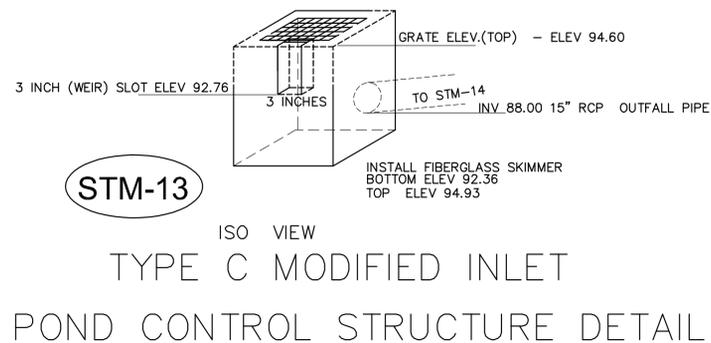
- (STM-1) TYPE C INLET (POND INLET)
"BUBBLE-UP STRUCTURE"
RIM = 91.80
INV IN = 88.30
- (STM-2) TYPE C INLET
RIM = 94.67
INV W & E = 90.30
- (STM-3) TYPE C INLET
RIM = 94.71
INV E & W = 90.50
- (STM-4) TYPE C INLET
RIM = 94.65
INV E & W = 90.70
- (STM-8) TYPE C INLET (POND INLET)
"BUBBLE-UP STRUCTURE"
RIM = 91.80
INV IN = 88.30
- (STM-9) TYPE C INLET
RIM = 94.60
INV W = 90.40
- (STM-10) TYPE C INLET
RIM = 94.65
INV W = 90.60
- (STM-11) TYPE C INLET
RIM = 94.60
INV W = 90.80
- (STM-12) TYPE C INLET
RIM = 94.60
INV W = 91.10
- (STM-13) TYPE C INLET MODIFIED
POND CONTROL STRUCTURE
(SEE DETAIL)
- (STM-14) TYPE P7 MH (DOGHOUSE)
RIM = 94.00(MATCH EG)
INV W = 87.00
INV N&S = 86.29 (EXISTING 36" RCP)



STORM CONNECTION WITHIN FDOT ROW NOTES

CARE SHALL BE EXERCISED WHEN CONSTRUCTION IS WITHIN THE VICINITY OF EXISTING POWER/LIGHT POLES. POLE WILL NEED TO BE HELD DURING CONSTRUCTION.

VERIFY VERTICAL SEPARATION OF AT LEAST 1' BETWEEN WATER AND STORM. ANY VARIATIONS THE CONTRACTOR IMMEDIATELY STOP WORKING AND CALL THE EOR AND OUC.



SITE LEGEND

- HANDICAP PARKING
- PROPOSED DRAINAGE INLET
- PROPOSED CURB
- SITE BOUNDARY LINE
- CENTER LINE OF ROAD
- RIGHT-OF-WAY
- CONCRETE
- PROPOSED ROW DEDICATION
- 2ND ST PAVING LIMITS
- TYPICAL
- HANDICAP
- 10 PARKING SPACES
- SIDEWALK
- 5' RADIUS
- LINEAR FEET
- SQUARE FEET
- BURIED ELECTRIC

FIRE NOTES

1. FIRE FLOW TESTING SHALL BE PERFORMED IN ACCORDANCE WITH NFPA 291, RECOMMENDED PRACTICE FOR FIRE FLOW TESTING AND MARKING OF HYDRANTS (NFPA 1, 18.3).
2. FIRE HYDRANT LOCATIONS AND DISTRIBUTION SHALL FOLLOW NFPA 1, APPENDIX I.
3. FIRE HYDRANT LOCATIONS SHALL BE IDENTIFIED BY A BLUE REFLECTIVE PAVEMENT MARKER THAT IS PLACED 6" IN THE ROADWAY IN ACCORDANCE WITH NFPA 1, CHAPTER 18.5.7.
4. FIRE DEPARTMENT ACCESS ROADS PROVIDED AT THE START OF A PROJECT AND SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION (NFPA 1, 16.1.4)
5. A WATER SUPPLY FOR FIRE PROTECTION, EITHER TEMPORARY OR PERMANENT, SHALL BE MADE AVAILABLE AS SOON AS COMBUSTIBLE MATERIAL ACCUMULATES. THIS APPLIES TO BOTH COMMERCIAL AND RESIDENTIAL DEVELOPMENTS. (NFPA 1, 16.4.3.1)
6. WHERE UNDERGROUND WATER MAINS AND HYDRANTS ARE TO BE PROVIDED, THEY SHALL BE INSTALLED, COMPLETED, AND IN SERVICE PRIOR TO CONSTRUCTION WORK.
7. FIRE DEPT ACCESS RD SHALL HAVE AN UNOBSTRUCTED WIDTH OF NOT LESS THAN 20'
8. FIRE DEPARTMENT ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF 39 TONS FOR THE FIRE APPARATUS AND SHALL BE PROVIDED WITH AN ALL-WEATHER DRIVING SURFACE.
9. A 36" CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF FIRE HYDRANTS AND A CLEAR SPACE OF NOT LESS THAN 60" SHALL BE PROVIDED IN FRONT OF EACH HYDRANT CONNECTION HAVE A DIAMETER GREATER THAN 2.5". (NFPA 1, 18.5.7)

FIRE FLOW CALCULATIONS

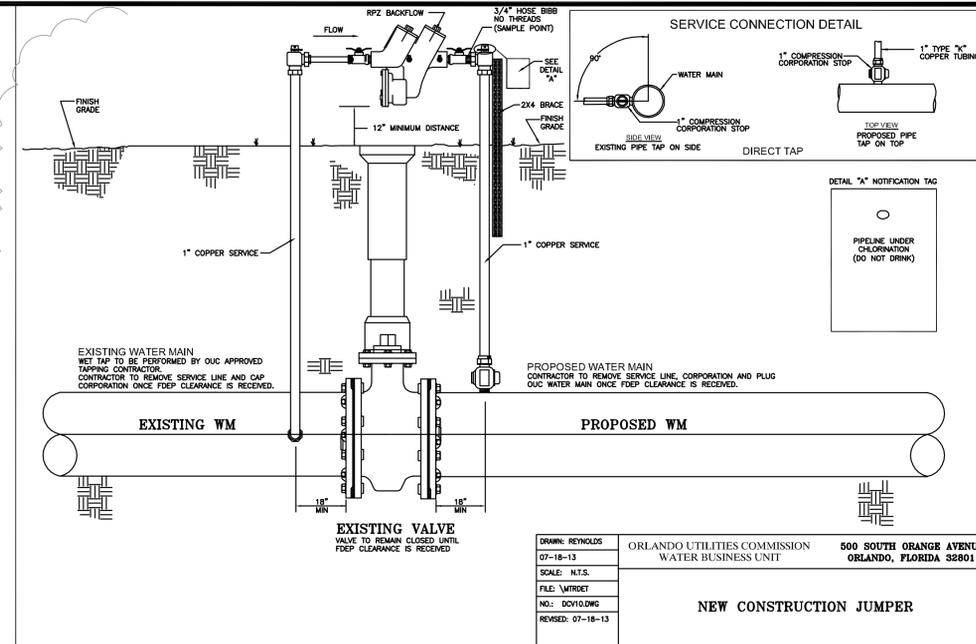
OFFICE/RETAIL (12,444 SF) = 1,500 GPM
 TYPE I CONSTRUCTION

1 EXISTING FIRE HYDRANT W/IN 250' = 1,200 GPM
 1 EXISTING FIRE HYDRANT WITHIN 500-1000' = 500 GPM

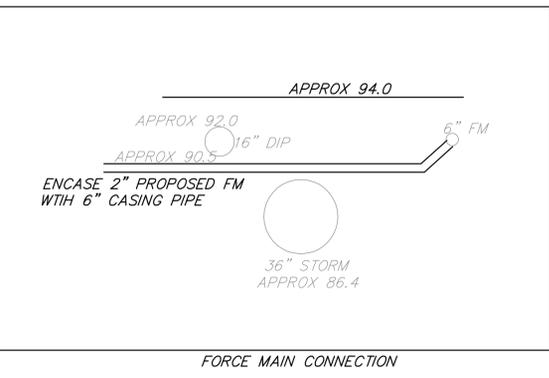
1,500 GPM REQUIRED 1,700 GPM PROVIDED

CONTRACTOR TO COORDINATE WITH UTILITY PROVIDERS, FDOT AND EOR FOR LANE CLOSURES. NOTIFICATION MUST ALSO BE GIVEN TO THE CITY 2 DAYS IN ADVANCE.

ALL ELECTRIC SERVICE IS TO BE BELOW GROUND



DRAWN: REYNOLDS 07-18-13	ORLANDO UTILITIES COMMISSION WATER BUSINESS UNIT	500 SOUTH ORANGE AVENUE ORLANDO, FLORIDA 32801
SCALE: N.T.S.	NEW CONSTRUCTION JUMPER	
FILE: WTRDET		
NO.: 00V10.DWG REVISED: 07-18-13		



**CIVIL ENGINEERS
LAND PLANNERS**

1614 White Dove Drive
Winter Springs, Florida 32708
Tel: (407) 405-7819

KIM@CYCORPENGINEERS.COM

**ORANGE AVE
PHARMACY**

5156 S ORANGE AVE
EDGEWOOD

REVISIONS		
Description	Date	By
1. city comments	12/26/19	KF
2. city comments	1/11/20	KF
3. city comments	1/27/20	

UTILITY PLAN

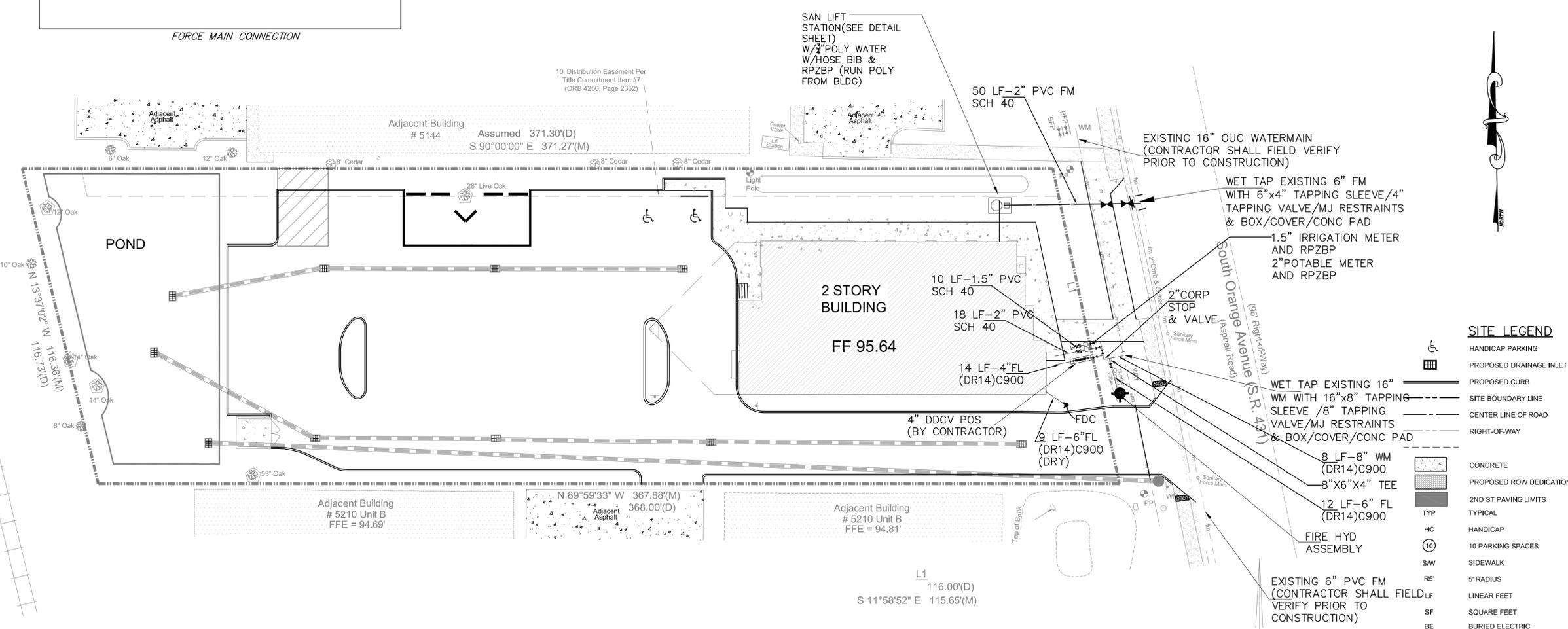
Date: JUNE 2019
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Sheet Number: 6

1/27/2020
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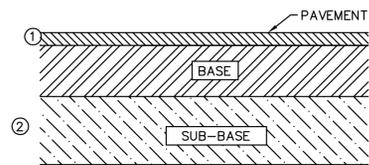
SITE LEGEND

	HANDICAP PARKING
	PROPOSED DRAINAGE INLET
	PROPOSED CURB
	SITE BOUNDARY LINE
	CENTER LINE OF ROAD
	RIGHT-OF-WAY
	CONCRETE
	PROPOSED ROW DEDICATION
	TYPICAL
	HANDICAP
	10 PARKING SPACES
	SIDEWALK
	5' RADIUS
	LINEAR FEET
	SQUARE FEET
	BURIED ELECTRIC

- ① 6" 4000 PSI CONCRETE MEETING SPECIFICATION SECTIONS 520 AND 522
- ② 6" 12" BASE COMPACTED TO 95% AASHTO T99(BASE PER FDOT SPECIFICATION 522-4)

TYPICAL PAVEMENT SECTION

FDOT ROW

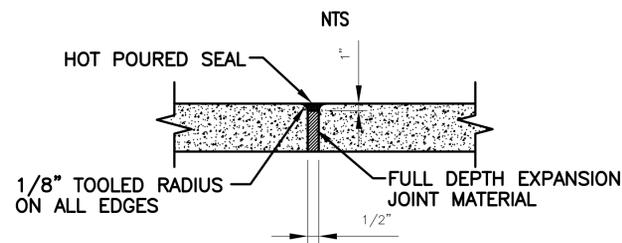


- ASPHALT 1.5" THICK, FDOT TYPE SP-9.5 ASPHALTIC CONCRETE
- BASE COURSE 6" CRUSHED CONCRETE BASE COMPACTED TO 98% MODIFIED PROCTOR MAX DENSITY PER AST, D-1557 & MIN LBR 100.
- SUB-BASE 10" STABILIZED SUBBASE WITH MIN. (FBV) OF 50 PSI OR (LBR) OF 40%. COMPACT TO A MIN. DENSITY EQUIVALENT OF 98% OF THE MODIFIED PROCTOR DENSITY (ASTM D-1557) FOR A DEPTH OF 12" BELOW PAVEMENT SUBGRADE.

TYPICAL PAVEMENT SECTION

ON-SITE

CRUSHED CONCRETE MUST MEET FDOT STANDARDS AND GRADATION REQUIREMENTS

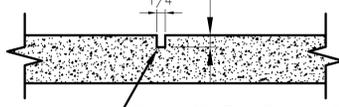


EXPANSION JOINT

NOT TO SCALE

NOTE: SAW CUT JOINTS IN SIDEWALK @ 5'-0" O.C.

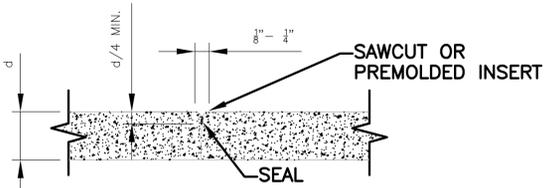
*D = SLAB THICKNESS



SAW JOINT WITHIN 12 HRS BUT NOT LESS THAN 4 HRS AFTER CONCRETE PLACEMENT

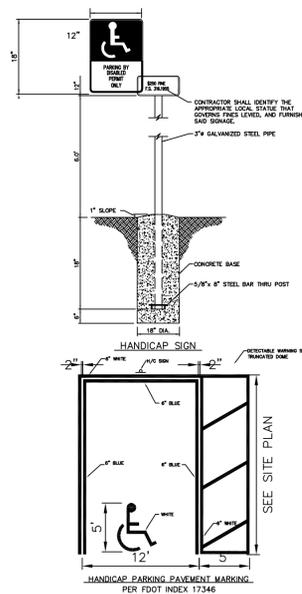
SAWED CONSTRUCTION JOINT

NOT TO SCALE

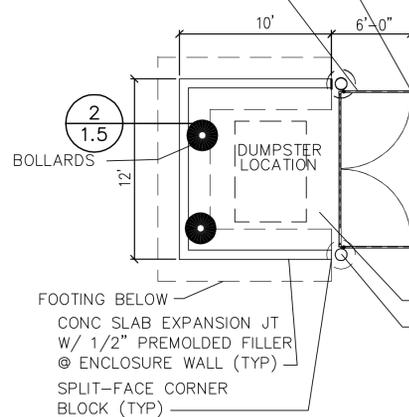


PLAIN PAVEMENT CONTROL JOINT - UNDOWELED

NOT TO SCALE
(ALL PAVEMENTS - SHORT JOINT SPACING)



PROVIDE DROP PINS, HARWARE FOR PADLOCK & WHEELS AT BASE
PAIR 5'-0"± GATES TO 6' HIGH - 1 1/2" Ø SCHED 40 PIPE w/ 9ga MESH & POLYETHYLENE SCREENING SLATS - MFR STD COLOR BLACK

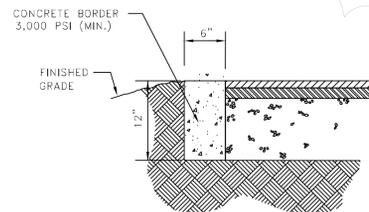


FOOTING BELOW
CONC SLAB EXPANSION JT W/ 1/2" PREMOLDED FILLER @ ENCLOSURE WALL (TYP)
SPLIT-FACE CORNER BLOCK (TYP)

CONC SLAB - 8" 3,000 PSI
10" Ø CONCRETE FILLED GALV GATE POST WITH CAP IN 2'-0" X 3'-0" DEEP CONC PIER (TYP) - WELD BRACKET TO GATE POST & GATE FRAME - SEE DTL

1 DUMPSTER ENCLOSURE PLAN

1.5/1.5 SCALE: NTS



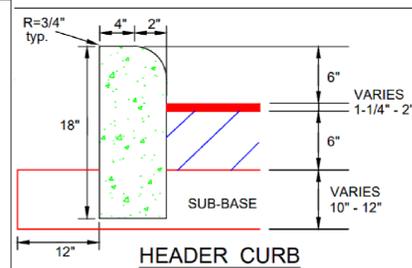
CONCRETE RIBBON CURB

NOT TO SCALE

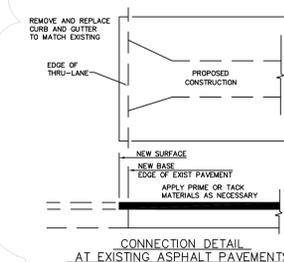
NOTES

1. CONCRETE SIDEWALK SHALL CONFORM TO THE PROVISIONS OF SECTION 522-2 THROUGH 522-8 OF THE FDOT STANDARD SPECIFICATIONS.
2. CONCRETE SHALL BE CURED USING ANY METHOD CONTAINED IN SECTION 520-8 OF THE FDOT STANDARD SPECIFICATIONS.
3. 4" MINIMUM CONCRETE SLAB WITH MINIMUM 3,000 PSI CONCRETE OVER A COMPACTED FILL. SLOPE WALK 2% TO SOD AREAS.
4. 2" LEVEL ELEVATION BETWEEN SIDEWALK AND BEGINNING OF NATURAL GROUND SLOPES.
5. ALL AREAS DISTURBED SHALL BE GRASS SEED, MULCHED, FERTILIZED AND WATERED OR SODDED AND WATERED AS SPECIFIED.
6. 3:1 MAXIMUM TO 3:1 MINIMUM SLOPES TO SUIT EXISTING GROUND CONDITIONS.
7. EXPANSION AND CONTRACTION JOINTS SHALL COMPLY WITH SECTION 522 OF FDOT STANDARD SPECIFICATIONS.

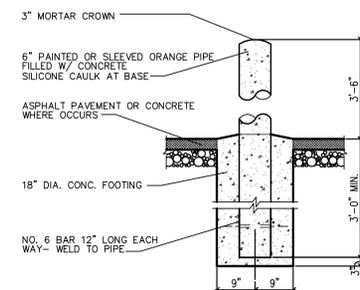
TYPICAL CROSS SECTION & DETAILS OF STANDARD CONCRETE SIDEWALK



HEADER CURB

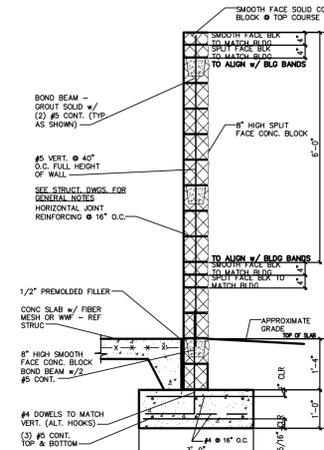


CONNECTION DETAIL AT EXISTING ASPHALT PAVEMENTS



3 BOLLARD DETAIL

1.5/1.5 SCALE: NTS

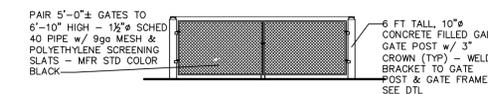


2 SCREEN-WALL SECTION

1.5/1.5 SCALE: NTS

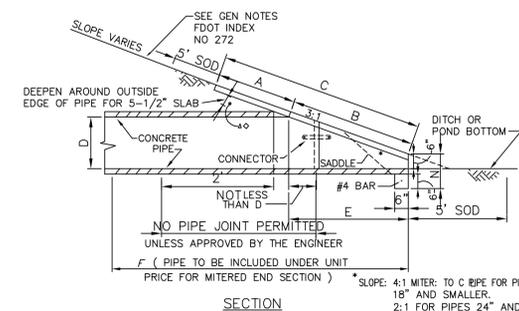
NOTE
OUTSIDE OF TRASH ENCLOSURE SHALL FOLLOW THE SAME ARCHITECTURAL DESIGN AS PROPOSED BUILDING (SEE ARCHITECTURAL PLANS PROPOSED BUILDING DESIGN)
DUMPSTER ENCLOSURE SHALL BE SCREENED ON THREE SIDES WITH 8 FOOT MASONRY WALLS

GATES SHALL BE SOLID STEEL AND PAINTED BLACK

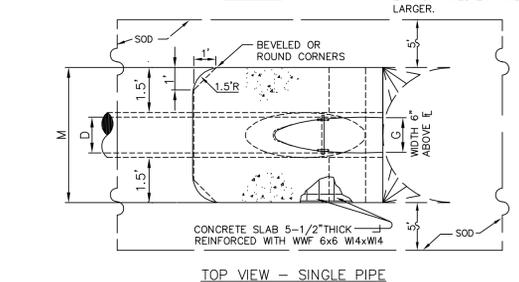


5 DUMPSTER GATE ELEVATION

1.5/1.5 SCALE: NTS



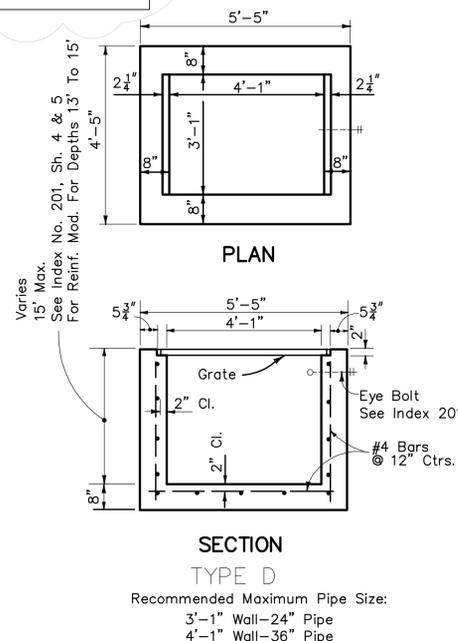
SECTION



TOP VIEW - SINGLE PIPE

D	X	A	B	C	E	F	G	M				
								SINGLE PIPE	DOUBLE PIPE	TRIPLE PIPE	QUAD PIPE	
15'	2'-7"	2.27'	4.08'	6.36'	4.03'	8'	1.22'	4.63'	7.21'	9.79'	12.37'	1.19'
18'	2'-10"	2.36'	5.12'	7.48'	5.03'	9'	1.41'	4.92'	7.75'	10.58'	13.42'	1.21'
24'	3'-5"	2.53'	7.18'	9.74'	7.03'	11'	1.74'	5.59'	8.92'	12.33'	15.75'	1.25'
30'	4'-3"	2.70'	9.25'	11.95'	9.03'	13'	2.05'	6.68'	10.33'	14.58'	18.83'	1.29'

MITERED END SECTION



SECTION TYPE D

Recommended Maximum Pipe Size:
3'-1" Wall-24" Pipe
4'-1" Wall-36" Pipe



CA 30526

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LAND PLANNERS

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REVISIONS

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SITE DETAILS

Date:

JULY 2019

Scale:
NTS

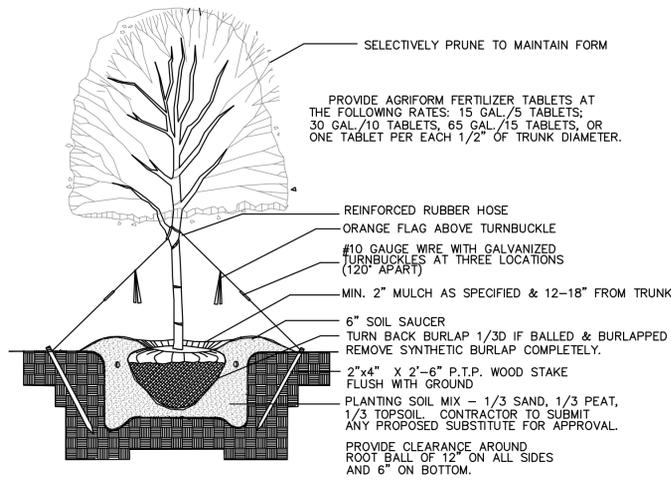
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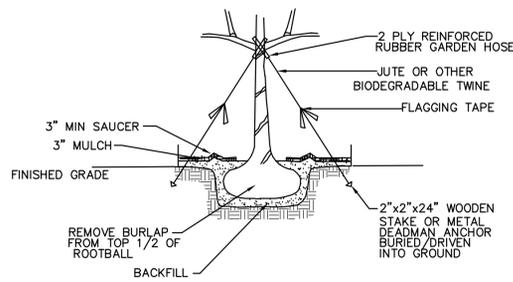
Sheet Number:

7



TREE PLANTING DETAIL

NOT TO SCALE TREES OVER 4"



TREE STAKING DETAIL

UP TO 4" TREE
NOTE: STAKE TREES ONLY AS NEEDED

LANDSCAPE NOTES
ALL TRIMMING UNDERTAKEN ON A TREE PROTECTED BY THE PROVISIONS OF THE LAND DEVELOPMENT CODE SHALL BE IN ACCORDANCE WITH THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A-300 PRUNING STANDARDS.
DURING LAND ALTERATION AND CONSTRUCTION ACTIVITIES, IT SHALL BE UNLAWFUL TO REMOVE VEGETATION BY GRUBBING OR TO PLACE SOIL DEPOSITS, DEBRIS, SOLVENTS, CONSTRUCTION MATERIAL, MACHINERY OR OTHER EQUIPMENT OF ANY KIND WITHIN THE DRIPLINE OF A TREE TO REMAIN ON THE SITE UNLESS OTHERWISE APPROVED BY THE COUNTY.
IN ORDER TO MINIMIZE SOIL EROSION PROPOSED LAND ALTERATION ACTIVITIES SHALL NOT UNNECESSARILY REMOVE EXISTING VEGETATION AND ALTER EXISTING TOPOGRAPHY. ADEQUATE PROTECTION MEASURE (I.E. HAY BALE, BAFFLER, SOODING AND SANDBAGGING) SHALL BE PROVIDED, AS NECESSARY, TO MINIMIZE EROSION AND DOWNSTREAM SEDIMENTATION CAUSED BY SURFACE WATER RUN-OFF ON EXPOSED LAND SURFACES.
ANY AREAS SUBJECT TO EROSION MUST BE ADEQUATELY STABILIZED WITH VEGETATIVE MATERIAL THAT WILL, WITHIN A REASONABLE TIME FRAME, DETER SOIL DISTURBANCE, SOODING, PLUGGING, SPRINGING OR SEEDING IS ACCEPTABLE FOR STABILIZATION; HOWEVER, SOODING MAY BE REQUIRED IN AREAS OF EROSION-PRONE SOILS OR WHERE SLOPES ARE GREATER THAN 5:1. VEGETATION OTHER THAN GRASS IS ACCEPTABLE UNLESS OTHERWISE SPECIFIED.
TREE BARRICADE NOTES
1. THE GENERAL CONTRACTOR SHALL TAKE SPECIAL CARE NOT TO DAMAGE TREES THAT ARE TO REMAIN.
2. TREE ROOTS OF 1" DIAMETER OR LARGER THAT NEED TO BE CUT SHALL BE CUT NEATLY.
3. STOCKPILED MATERIALS OR UNNECESSARY VEHICULAR TRAFFIC SHALL NOT BE ALLOWED OVER ANY TREE ROOT SYSTEM.
4. THE TREE BARRIERS MUST REMAIN UP THROUGHOUT THE CONSTRUCTION UNTIL TIME FOR LANDSCAPING.
5. ANY ROOT PRUNING NEEDS TO BE WITH A PRO TYPE ROOT SAW OR SIMILAR DEVICE, BUT NOT HEAVY EQUIPMENT. ANY CUT ENDS MUST BE COVERED AND BACKFILLED WITHIN 24 HOURS AND SPECIAL WATERING PROVIDED TO PREVENT DEHYDRATION.
6. ANY TREE PRUNING NEEDS TO BE DONE BY A CERTIFIED ARBORIST DURING CONSTRUCTION ON THE SITE OR BEFORE THE INSTALLATION OF ANY PLANT MATERIAL.

LANDSCAPE NOTES
Landscape contractor (LC) shall be responsible for all materials and work called for on the landscape plans and in the landscape notes and legend. Plant specifications are minimum acceptable sizes. Plans shall rule if there are any quantity discrepancies between the legend and plans. Final quantity takeoffs are the responsibility of the LC. Notify the Engineer of Record of any discrepancies.
-LC shall comply with all local codes and ordinances and obtain all permits and bonds necessary to construct the project.
-LC shall coordinate their work with other contractors to assure efficient and timely completion of the work.
-LC shall be responsible for supplying all materials, labor and equipment for the performance of their portion of the work.
-LC to verify all existing grades, dimensions, adequate drainage, suitable planting soil and field conditions and notify owner of discrepancies before proceeding with work. Per FL Statutes, LC to call Sunshine State One (800.432.4770) 48 hours prior to digging to have all utilities located.
-LC to protect existing utilities, structures, surfaces and vegetation noted to be saved and be responsible for repair/replacement.
-Protect trees to be saved per detail. Vehicle parking, material storage, or soil removal/addition is not permitted within driplines.
-Round-Up shall be applied twice at ten day intervals onto all existing vegetation, soil and groundcover areas that are to be replanted. Extreme care shall be taken to prevent overspray and/or drift onto existing plant material to be saved. Mfr's recommendations shall be followed. Remaining weeds and their roots shall be removed by hand prior to installation of plants. Reseeding weeds and plants are the responsibility of the LC through the one year warranty period.
-All plant materials shall be graded Florida No. 1 or better as outlined under current Grades and Standards for Nursery Plants, Division of Plant Industry, State of Florida.. All plants not listed shall conform to a Florida No. 1 or better as to: (1) health & vitality, (2) condition of foliage, (3) root system, (4) freedom from pest or mechanical damage, (5) heavily branched & densely foliated according to the accepted normal shape of the species. LC to obtain written certification from nurseries that plant materials are Florida No. 1 or better. Trees up to 4" caliper measured at 6" above soil line & over 4" caliper at 12" above soil line unless otherwise noted. All specifications to be met unless otherwise noted. All rootballs and containers to be free of weeds and their roots.
-Planting soil of Fla. peat mixed 1/2 with clean topsoil for the backfilling of plant pits and beds shall be required only if existing soil is unsuitable for planting and/or contains lime rock or construction debris (to be removed).
-Trees shall be installed so their top main root at the trunk is visible and 2" above finished grade. Do not apply the 1 1/2" of mulch to the top of the rootball until after inspection of each tree or palm.
-Landscape Architect is not responsible for adverse soil or drainage conditions, determining sub-surface soil conditions, underground objects/utilities or the accuracy of property lines or information portrayed on surveys or on documents or plans provided by others. Owner or their agent is solely responsible for future maintenance of all plantings to maintain safe visibility within all visibility sight triangles and vehicular use and pedestrian areas within and immediately adjacent to the site.
-Finished grade prior to mulching or sodding to be 3" below top of adjacent surfaces such as walks, curbs and driveways extending perpendicularly from the surface edge for a minimum distance of 18". See detail.
-All trees, shrubs and groundcovers shall be fertilized with Agriform 20-10-5 or SierraTabs 16-8-12 planting tablets. One tablet/ 1 gal, 2 tablets/ 3 gal, 3 tablets/ 5 or 7 gal, 4 tablets/ 10 gal and one tablet/ each 1/2" of tree trunk diameter. Application shall be as per the details and mfr's recommendation.
-All planting beds and trees to receive med. pine bark mulch. Due to environmental concerns, cypress mulch shall NOT be used. All tree rootballs (which require 4 foot wide mulch rings in turf areas) shall be mulched to a 1 1/2" depth following inspection. All other planting beds to receive a 3" depth. Mulch shall not touch trunks or stems or be applied within the crowns of groundcovers or over their branches or foliage. Mulch is to be applied by hand and shall not be "blown in".
-LC to maintain all plant material in a plumb, upright and stable condition. All trees/stakes as per details.
-LC to remove all bags (unless biodegradable), tags, ties, wires, ropes, stakes and nursery attachments from all plant material.
-LC shall be responsible to keep plant material in a healthy, watered, insect/pest free condition until owner's final acceptance.
-LC to provide a one-year warranty for trees, three months for shrubs, groundcovers & vines and thirty days for sod. Warranty period shall start with final acceptance by owner. All plant material shall be alive and in satisfactory growth at the end of the warranty period. Replacement plant material shall be warranted for ninety days (sod for thirty days) from replacement date. Warranty shall apply only to material that dies due to poor quality, improper handling or installation practices. Generally, material transplanted on-site shall not be warranted. Adverse weather conditions shall not apply. Proper watering and maintenance are the owner's responsibility during the warranty period.
-Provide 100% coverage of all landscape areas using automatic underground irrigation system with rain sensor.

MAINTENANCE NOTES
1. FOR SIDEWALKS AND ADJACENT TO PARKING STALLS: TREES EXCEEDING THE HEIGHT OF 18' ADJACENT TO SIDEWALKS SHALL BE PRUNED TO HAVE A CLEARANCE OF 8.5 FEET ABOVE THE SIDEWALK. PRUNING SHALL BE SUPERVISED BY A CERTIFIED ISA ARBORIST IN ACCORDANCE WITH THE STANDARD PRACTICES OF ANSI A300 (PART 1) MOST CURRENT EDITION. TREES UNDER THE HEIGHT OF 18', SHALL BE PRUNED YEARLY TO ACHIEVE THE 8.5 FEET CLEARANCE. NOT MORE THAN 25 % OF THE CANOPY SHALL BE REMOVED AT ANY ONE TIME. PRUNING STANDARDS ESTABLISHED ABOVE SHALL BE FOLLOWED FOR EACH YEARLY PRUNING. PRUNING FOR CLEARANCE SHALL BE UNIFORM COMPLETELY AROUND THE CIRCUMFERENCE OF THE CANOPY, TO PROVIDE A BALANCED APPEARANCE.
2. FOR DRIVEWAYS AND STREETS: TREES EXCEEDING THE HEIGHT OF 30' ADJACENT TO DRIVEWAYS AND STREETS SHALL BE PRUNED TO HAVE A CLEARANCE OF 14.5 FEET ABOVE THE SIDEWALK. PRUNING SHALL BE SUPERVISED BY A CERTIFIED ISA ARBORIST IN ACCORDANCE WITH THE STANDARD PRACTICES OF ANSI A300 (PART 1) MOST CURRENT EDITION. TREES UNDER THE HEIGHT OF 30', SHALL BE PRUNED YEARLY TO ACHIEVE THE 14.5 FEET CLEARANCE. NOT MORE THAN 25 % OF THE CANOPY SHALL BE REMOVED AT ANY ONE TIME. PRUNING STANDARDS ESTABLISHED ABOVE SHALL BE FOLLOWED FOR EACH YEARLY PRUNING. PRUNING FOR CLEARANCE SHALL BE UNIFORM COMPLETELY AROUND THE CIRCUMFERENCE OF THE CANOPY TO PROVIDE A BALANCED APPEARANCE.

IF EXISTING TREES ARE TO BE REMOVED OR ERADICATED REPLACEMENT TREES WILL BE REQUIRED (TYP)
HEDGES AROUND SOUTH SIDE OF BUILDING SHALL BE MAINTAINED AT 6 FEET HEIGHT.

ALL TREES TO BE FLORIDA GRADE #1 OR BETTER

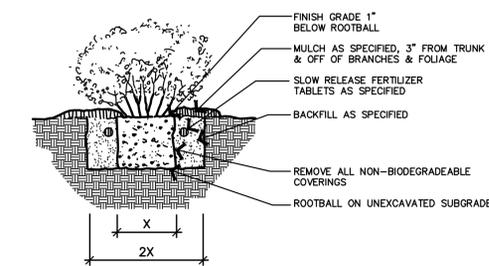
PLANT LIST

SYMBOL	TREE	KEY	TOTAL	BOTANICAL NAME	COMMON NAME	SIZE, HEIGHT, WIDTH
☀	IV	10		ULMUS PARVIFLORA 'ALLEE'	ALLEE CHINESE ELM	10' HT 2" CAL. MIN
☀	LI	3		ULMUS ALATA	WINGED ELM	MIN. 5" CALIPER (16-18 FT HT) MATCHED HT, 8' SPREAD
☀		2		RELOCATED DATE PALM TREES	IF VIABLE	
☀	VS	83		VIBURNUM ODORATISSIMUM	SWEET VIBURNUM	7 GAL. 30" H. 30" O.C.
☀	LG	58		HAMELIA PATENS 'COMPACTA'	DWARF FIREBUSH	7 GAL. 30" H. 30" O.C.
☀	MF	7		MYRCIANTHES FRAGRANS	SIMPSON'S STOPPER	MULTI STEM, TREE FORM, MIN 3 STEMS 1.5" CAL 10' HT, 4' SPRD
	SOD	AS REQ.		BAHIA HYBRID		

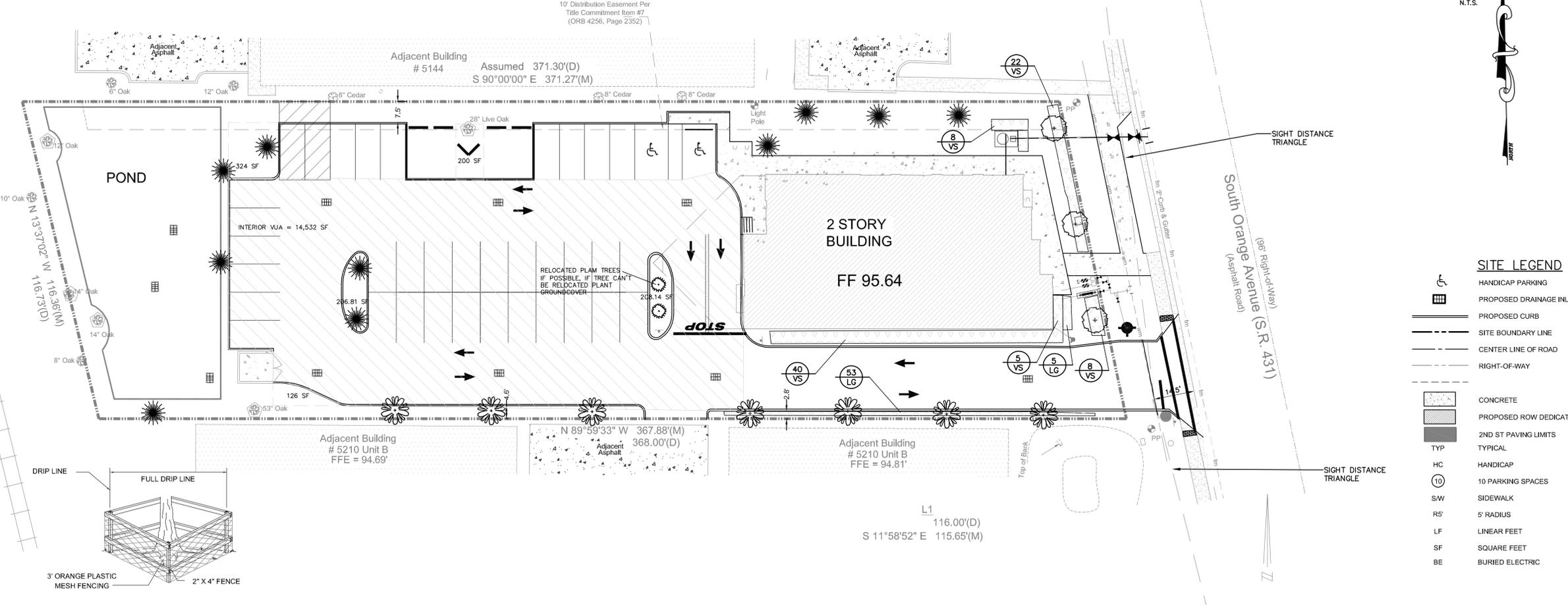
CALIPER IS TO BE MEASURED 6" ABOVE SOIL LINE FOR TREES 4" OR SMALLER AND 12" ABOVE SOIL LINE FOR TREES LARGER THAN 4"

FIREBUSH IS TO BE MAINTAINED IN ITS NATURAL SHAPE, NOT SHEARED

INTERNAL LANDSCAPING
14,532 SF X 0.5 = 726.6 SF REQUIRED
1,064.95 SF PROVIDED



TYPICAL SHRUB/GROUNDCOVER PLANTING DETAIL



**CIVIL ENGINEERS
LAND PLANNERS**

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Winter Springs, Florida 32708
Tel: (407) 405-7819

KIM@CYCORPENGINEERS.COM

ORANGE AVE
PHARMACY

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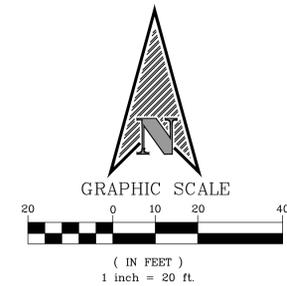
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LANDSCAPING PLAN

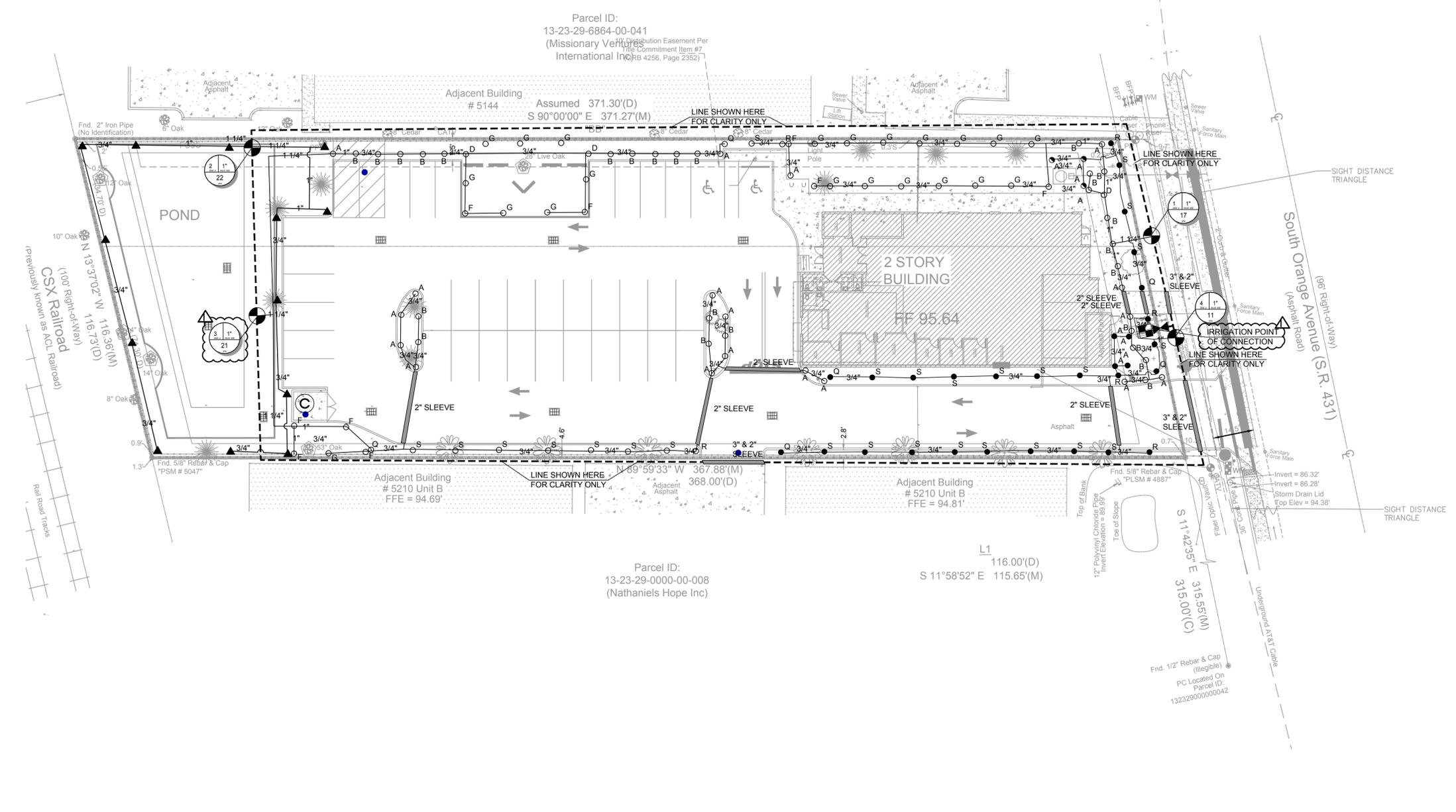
Date: JUNE 2019
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CADDSCAPES, INC.
 Florida Landscape Architecture Firm
 2741 S. Eiston Drive, Landscape Architect
 Deltona, FL 32738 Jason Bridgewater, RLA
 Office: 407-310-5567 Florida Water Star AP
 LCH 26000550
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DATE	REVISION
1/28/20	

DATE: 01/28/2020
 CITY COMMENTS
 SEAL
 JASON BRIDGEWATER
 REGISTERED LANDSCAPE ARCHITECT
 FLORIDA
 Jason P. Bridgewater
 Registered Landscape Architect
 FL Registration - LA 6667308

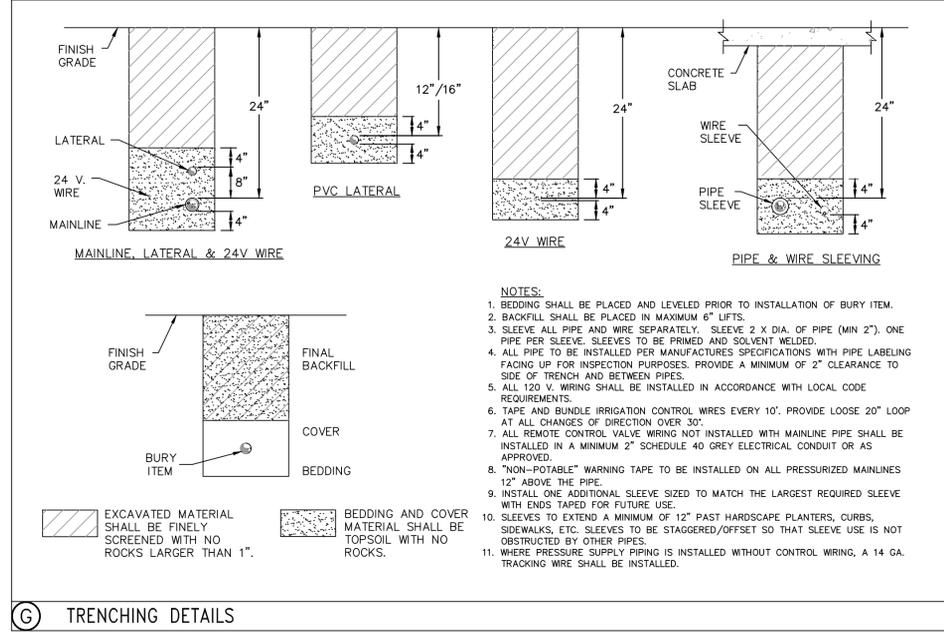
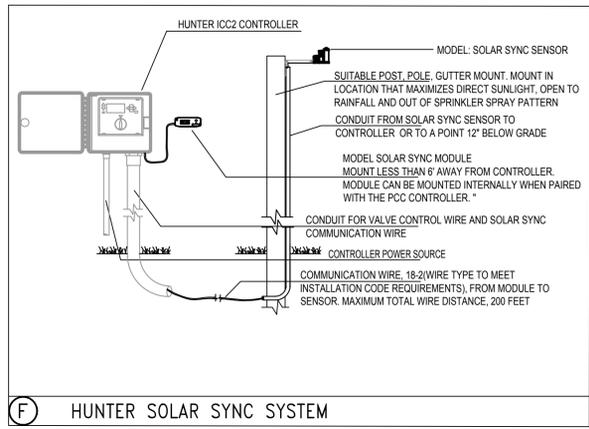
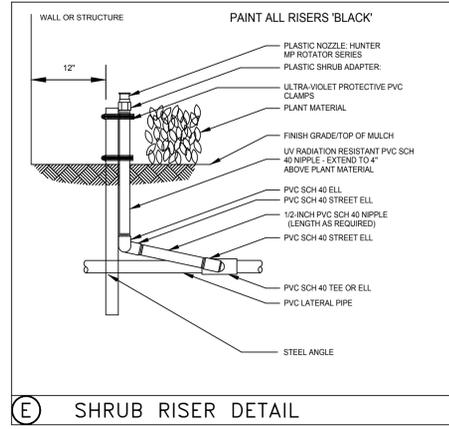
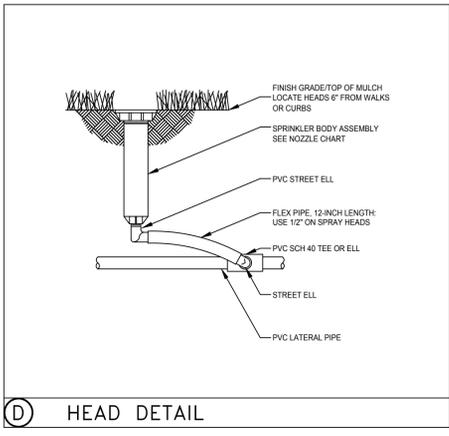
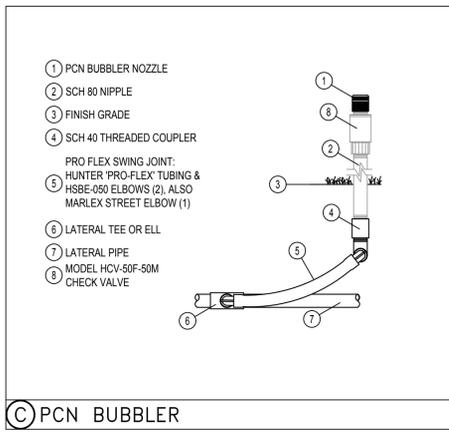
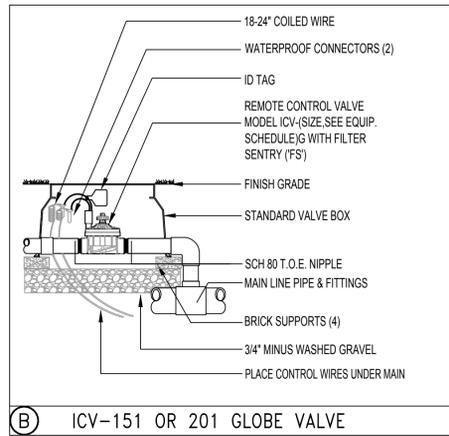
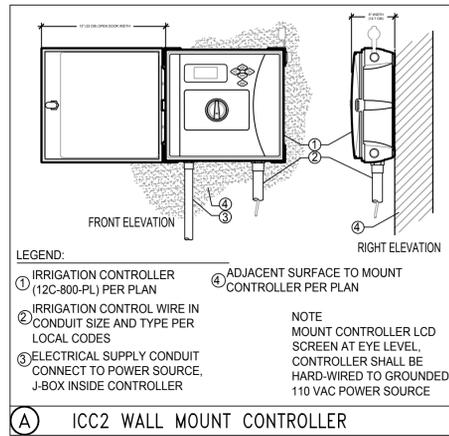
ORANGE AVE. PHARMACY
 1516 S. ORANGE AVE
 EDGEWOOD, FLORIDA

DATE: 01/07/2020
 DRAWN: JB
 CHECKED: JB

LI-1
 IRRIGATION PLAN
 PROJECT NO.: 2020.001

**48 HOURS BEFORE YOU DIG
 CALL SUNSHINE**
 1-800-432-4770 or 811
IT'S THE LAW IN FLORIDA
 FLORIDA LAW REQUIRES
 EXCAVATORS TO NOTIFY
 OWNERS OF UNDERGROUND
 FACILITIES NO LESS THAN TWO
 (2) DAYS PRIOR TO EXCAVATION

IRRIGATION DETAILS



IRRIGATION NOTES

- REFER TO THE LANDSCAPE PLANS WHEN TRENCHING TO AVOID TREES AND SHRUBS.
- ALL MAINLINE PIPING SHALL BE BURIED TO A MINIMUM DEPTH OF 18" OF COVER. ALL LATERAL PIPING SHALL BE BURIED TO A MINIMUM DEPTH OF 12" OF COVER.
- ALL POP-UP ROTORS AND SPRAY HEADS SHALL BE INSTALLED USING AN 18" P.V.C. FLEX PIPE CONNECTION. DO NOT USE FUNNY PIPE.
- ADJUST ALL NOZZLES TO REDUCE WATER WASTE ON HARD SURFACES AND BUILDING WALLS.
- THROTTLE ALL VALVES ON SHRUB LINES AS REQUIRED TO PREVENT FOGGING.
- ALL RISERS SHALL BE PAINTED BLACK.
- ALL RISERS SHALL BE STAKED WITH A STEEL ANGLE AND SECURED WITH ULTRA-VIOLET LIGHT PROTECTED P.V.C. CLAMPS.
- ALL CONTROL WIRE SPLICES SHALL BE MADE IN VALVE BOXES USING SNAP-TITE CONNECTORS AND SEALANT.
- THE CONTRACTOR SHALL PREPARE AN AS-BUILT DRAWING ON A REPRODUCIBLE PAPER (SEPIA OR MYLAR) SHOWING ALL INSTALLED IRRIGATION. A MYLAR OR SEPIA OF THE ORIGINAL PLAN MAY BE OBTAINED FROM THE LANDSCAPE ARCHITECT FOR A FEE. THE DRAWING SHALL LOCATE ALL MAINLINE AND VALVES BY SHOWING EXACT MEASUREMENTS FROM HARD SURFACES.
- ALL VALVES, GATE VALVES AND QUICK COUPLERS SHALL BE INSTALLED IN VALVE BOXES.
- ANY PIPING SHOWN OUTSIDE THE PROPERTY LINE OR RUNNING OUTSIDE A LANDSCAPE AREA IS SHOWN THERE FOR CLARITY ONLY. ALL LINES SHALL BE INSTALLED ON THE PROPERTY AND INSIDE THE LANDSCAPE AREAS.
- ALL RISERS SHALL BE INSTALLED 12" FROM ANY WALL AND A MINIMUM OF 36" FROM ANY SIDEWALK, PATIO OR ROAD.
- THE EXACT HEIGHT OF ANY 12" POP-UP THAT IS SHOWN IN A SHRUB BED SHALL BE DETERMINED BY THE LANDSCAPE ARCHITECT IN THE FIELD.
- THE CONTRACTOR SHALL EXERCISE CARE SO AS NOT TO DAMAGE ANY EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE IMMEDIATE REPAIRS AND COST OF ANY DAMAGE CAUSED BY HIS WORK.
- ALL WORK SHALL BE GUARANTEED FOR ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE AGAINST ALL DEFECTS IN EQUIPMENT AND WORKMANSHIP.
- CONTRACTOR TO USE MIN. OF 12 GAUGE WIRE FOR ALL COMMON WIRES AND 14 GAUGE WIRE FOR ALL CONTROL WIRES. CONTRACTOR ALSO TO PROVIDE 3 SPARE CONTROL WIRES FOR ANY FUTURE USE.
- CONCRETE THRUST BLOCKS ARE TO BE UTILIZED AT ALL MAINLINE DIRECTION CHANGES.
- ALL IRRIGATION SHOWN ON PLANS IS SCHEMATIC AND DOES NOT REFLECT ALL FITTINGS AND APPURTENANCES WHICH SHALL BE INCLUDED TO PROVIDE A FULLY FUNCTIONAL IRRIGATION SYSTEM CAPABLE OF PROVIDING 100 PERCENT COVERAGE WITH A 50 PERCENT OVERLAP.

EQUIPMENT LIST

SYMBOL	DESCRIPTION	QUANTITY
●	0.50 GPM BUBBLER (2 PER TREE)	0
○	6" POP-UP SPRAY - HUNTER INDUSTRIES MPR40 W/MP2000 NOZZLES	89
●	12" POP-UP SPRAY - HUNTER INDUSTRIES MPR40 W/MP2000 NOZZLES	30
●	SPRAY ON RISER - HUNTER INDUSTRIES INST-00-CV-MP2000	3
▲	HUNTER INDUSTRIES - 4" POP-UP PGP ROTORS - PART RADIUS W/PRS40	13
▲	HUNTER INDUSTRIES - 4" POP-UP PGP ROTORS - FULL RADIUS W/PRS40	0
▲	HUNTER INDUSTRIES - I-40 ROTORS - PART 60" RADIUS	0
●	HUNTER 'ICV' SERIES ELECTRIC VALVE WITH ACCU-SET PRESSURE REGULATOR 1"	4
●	HUNTER 'ICV' SERIES ELECTRIC VALVE WITH ACCU-SET PRESSURE REGULATOR 1 1/2"	0
C	HUNTER ICC2 8 STATION CONTROLLER, 120VOLT INSTALL WITH A SOLAR SYNC (WITH EVAPOTRANSPIRATION SENSOR AND RAIN SENSOR AND BY-PASS BOX.) GROUND WITH AN 8" COPPER CLAD ROD.	1
■	1" POTABLE IRRIGATION METER TO PROVIDE 30 GPM AT 40 PSI	1
▶	1" RPZ BACKFLOW PREVENTOR	1
—	LATERAL LINE SIZE PER PLAN	SEE PLAN
—	1-1/2" MAINLINE CLASS 200 P.V.C. SIZE PER PLAN	SEE PLAN
■	SLEEVING - SCH. 40 P.V.C. MIN. DEPTH OF 24" (ALL 3" SLEEVES TO HAVE ACCOMPANYING 2" SLEEVE FOR WIRES)	SEE PLAN

SPRAY NOZZLE CHART

SYM	NOZZLE	NOZZLE PATTERN	GPM
A	MAROON	90° ADJUSTABLE ARC	.19
B	MAROON	180° ADJUSTABLE ARC	.37
C	LT. BLUE	210° ADJUSTABLE ARC	.43
D	LT. BLUE	270° ADJUSTABLE ARC	.57
E	OLIVE	360° ARC	.75
F	BLACK	90° ADJUSTABLE ARC	.40
G	BLACK	180° ADJUSTABLE ARC	.74
H	GREEN	210° ADJUSTABLE ARC	.86
I	GREEN	270° ADJUSTABLE ARC	1.10
J	RED	360° ARC	1.47
K	BLUE	90° ADJUSTABLE ARC	.86
L	BLUE	180° ADJUSTABLE ARC	1.82
M	YELLOW	210° ADJUSTABLE ARC	2.12
N	YELLOW	270° ADJUSTABLE ARC	2.73
O	GRAY	360° ARC	3.64
P	TURQUOISE	45°-105° ADJUSTABLE ARC	.45
Q	IVORY	5'x15' LEFT STRIP	.22
R	COPPER	5'x15' RIGHT STRIP	.22
S	BROWN	5'x30' SIDE STRIP	.44
T	PCN10	1.00 GPM FLOOD BUBBLER	1.00
U	PCN50	.50 GPM FLOOD BUBBLER	.50
V	SR-2Q	90° 2' RADIUS	.11
W	SR-2H	180° 2' RADIUS	.16
X	MS-F	360° 5' RADIUS	.50

CADDSCAPES, INC.
 Florida Landscape Architecture Firm
 2741 S. Eiston Drive, Landscape Architect
 Deltona, FL 32738 Jason Bridgewater, RLA
 Office: 407-310-5567 Florida Water Star AP
 LCF 26000550 Jasonbridgewater@gmail.com
 © Caddscapes, Inc., 2020

DATE	REVISION
1/28/20	

DATE: 01/28/2020
 Jason P. Bridgewater
 Registered Landscape Architect
 FL Registration - LA 6667308

SEAL

ORANGE AVE. PHARMACY
 1516 S. ORANGE AVE
 EDGEWOOD, FLORIDA

DATE: 01/07/2020
 DRAWN: JB
 CHECKED: JB

48 HOURS BEFORE YOU DIG
 CALL SUNSHINE
 1-800-432-4770 or 811
IT'S THE LAW IN FLORIDA
 FLORIDA LAW REQUIRES
 EXCAVATORS TO NOTIFY
 OWNERS OF UNDERGROUND
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LI-2
 IRRIGATION DETAILS
 PROJECT NO.: 2020.001



REVISION

JOB NO.
19009

DATE
10/17/19

SHEET

A3.1

- OF -

CITY OF EDGEWOOD CENTRAL DISTRICT ARCHITECTURAL REQUIREMENTS

MINIMUM PERCENTAGE LOT WIDTH
LOT WIDTH = 19.65' x 5 = 97.83' REQ'D.
BUILDING WIDTH = 53.61' *OK*

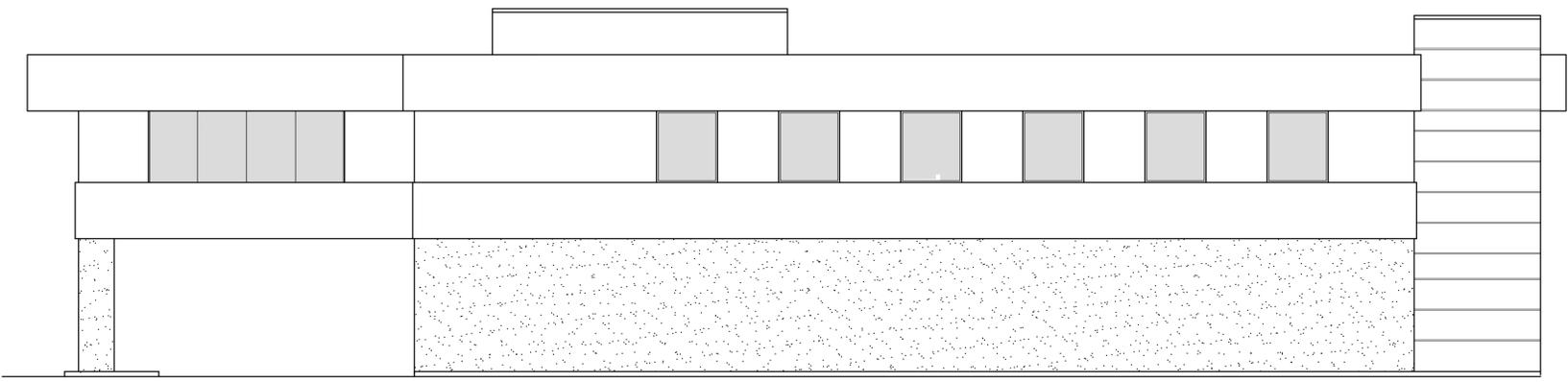
PRIMARY ENTRANCE
FRONT ENTRY DOOR PROVIDED

FIRST FLOOR FACADE TRANSPARENCY
GROUND FLOOR BUILDING WIDTH = 55' x 60 = 33' REQ'D.
GLAZING WIDTH GROUND FLOOR = 33.61' *OK*
GLAZING MINIMUM VLT = 60% *OK*
GLAZING CREATES VERTICAL AND HORIZONTAL RHYTHM *OK*
GLAZING HEIGHT FROM FINISHED FLOOR TO 13'-0" AFF.
GLAZING PANELS MINIMUM WIDTH EXCEEDS 36" (MIN. 24' REQ'D.) *OK*

FACADE HORIZONTAL VARIATION (2 OR MORE)
1. ARTICULATION - WALL PROJECTIONS AND RECESSES EXCEEDING REQUIRED MINIMUMS PROVIDED
2. FULL HEIGHT MATERIAL CHANGE - FULL HEIGHT GLASS FIRST FLOOR, E.I.F.S. SECOND FLOOR, TEXTURE CHANGE ON STAIRWELLS.

BUILDING HEIGHT
MINIMUM 20' PROPOSED 35'

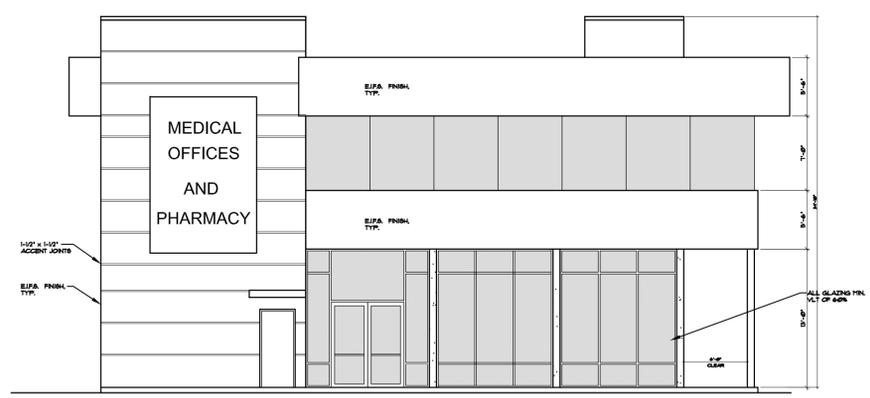
FACADE VERTICAL VARIATION
THREE DIMENSIONAL HORIZONTAL CHANGES IN EXCESS OF 12' BETWEEN 13' AND 15' HAS BEEN PROVIDED, ALSO A CANTILEVERED SECOND FLOOR PROVIDES VARIATION



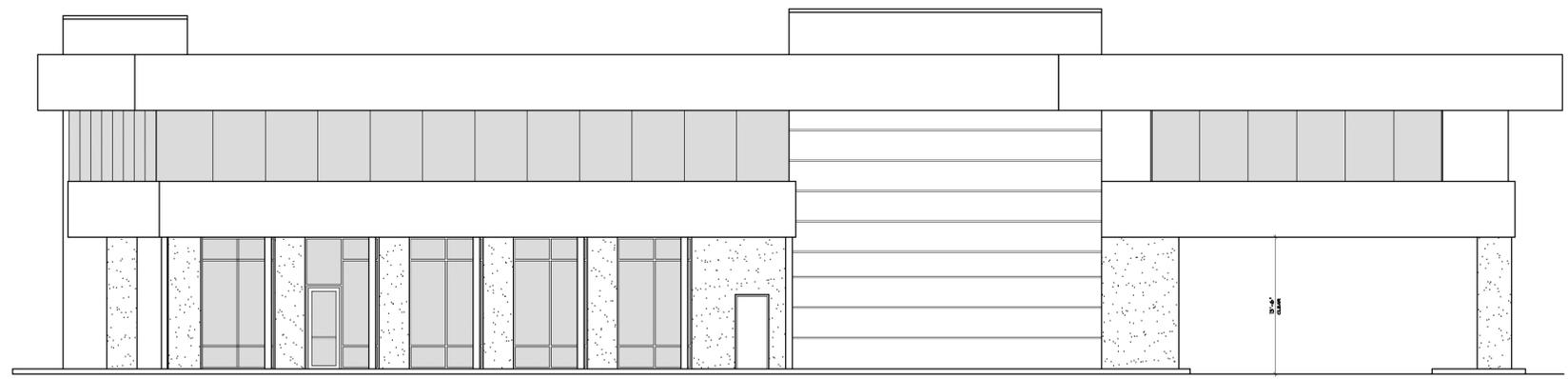
4 SOUTH ELEVATION
SCALE: 1/8"=1'-0"



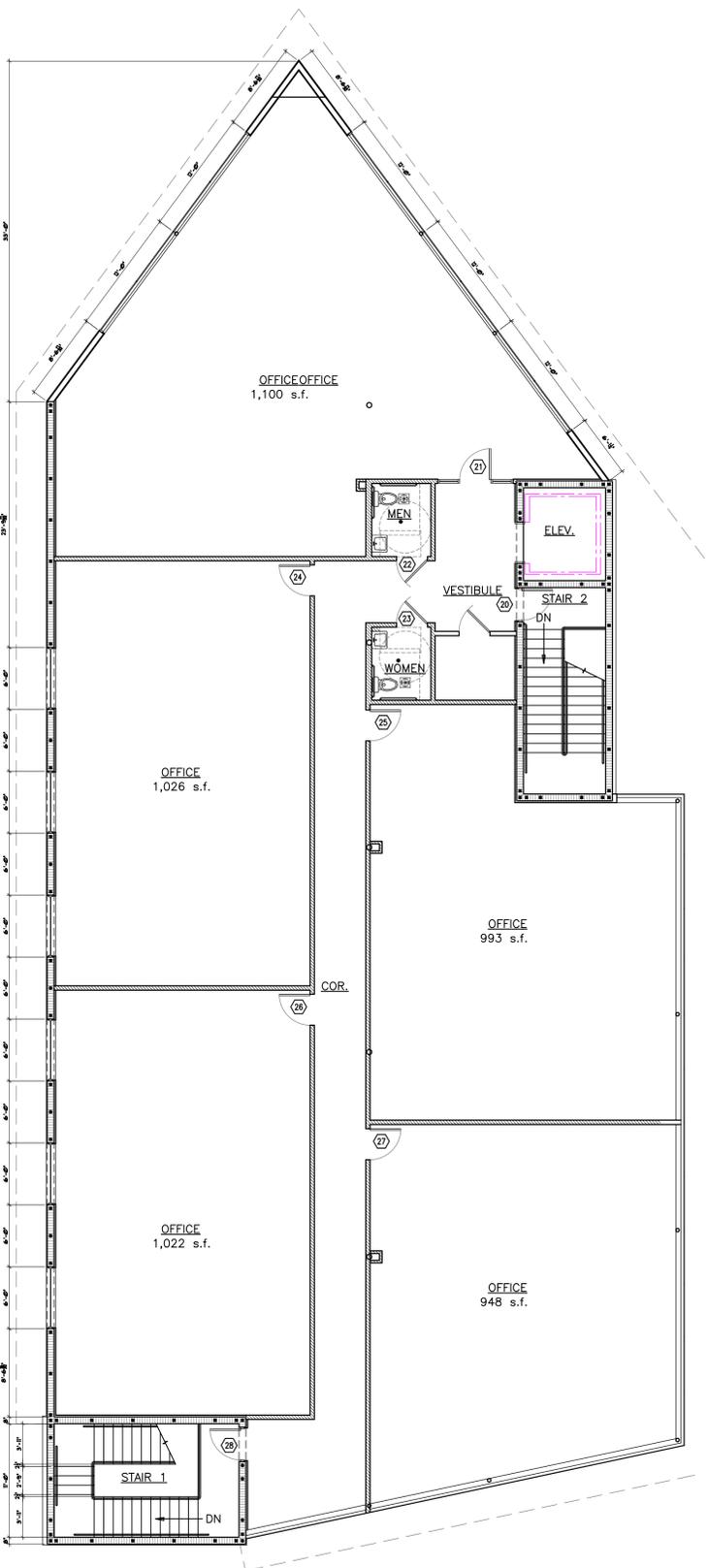
3 WEST ELEVATION
SCALE: 1/8"=1'-0"



1 EAST ELEVATION
SCALE: 1/8"=1'-0"



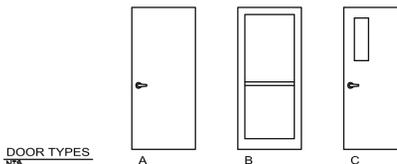
2 NORTH ELEVATION
SCALE: 1/8"=1'-0"



2 SECOND FLOOR PLAN
SCALE: 1/8"=1'-0"

DOOR SCHEDULE

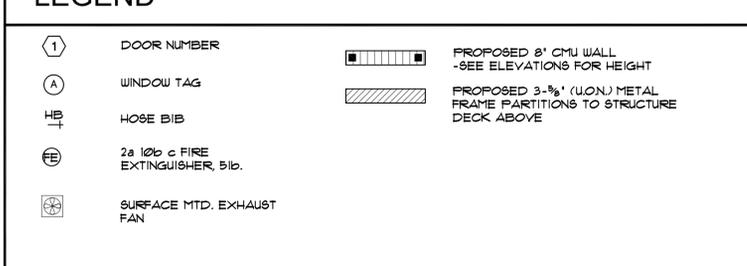
NO	TYPE	SIZE	DESCRIPTION	FRAME	HARDWARE	NOTES
1	A	3'-0"	1'-0"	P4"	ALUM	1. ALL LOCKSETS SHALL BE LEVER HANDLE SCHLAGE "SATURN" COMMERCIAL DUTY. 2. HARDWARE FINISH US30 3. HINGES HAGER OR EQUAL. LOCKS SHALL NOT REQUIRE USE OF KEY, TOOL OR SPECIAL KNOWLEDGE OR EFFORT FOR OPERATION FROM EGRESS SIDE.
2	B	3'-0"	1'-0"	P4"	ALUM	
3	B	3'-0"	1'-0"	P4"	ALUM	
4	A	3'-0"	1'-0"	P4"	ALUM	
5	B	FR 3'-0"	1'-0"	P4"	ALUM	
6	B	FR 3'-0"	1'-0"	P4"	ALUM	
7	A	3'-0"	1'-0"	P4"	ALUM	
8	A	3'-0"	1'-0"	P4"	ALUM	
9	A	3'-0"	1'-0"	P4"	ALUM	
10	A	3'-0"	1'-0"	P4"	ALUM	
11	A	3'-0"	1'-0"	P4"	ALUM	
12	A	3'-0"	1'-0"	P4"	ALUM	
13	A	3'-0"	1'-0"	P4"	ALUM	
14	A	3'-0"	1'-0"	P4"	ALUM	
15	A	3'-0"	1'-0"	P4"	ALUM	
16	A	3'-0"	1'-0"	P4"	ALUM	
17	A	3'-0"	1'-0"	P4"	ALUM	
18	A	3'-0"	1'-0"	P4"	ALUM	
20	B	FR 3'-0"	1'-0"	P4"	ALUM	
21	A	3'-0"	1'-0"	P4"	ALUM	
22	A	3'-0"	1'-0"	P4"	ALUM	
23	A	3'-0"	1'-0"	P4"	ALUM	
24	A	3'-0"	1'-0"	P4"	ALUM	
25	A	3'-0"	1'-0"	P4"	ALUM	
26	A	3'-0"	1'-0"	P4"	ALUM	
27	A	3'-0"	1'-0"	P4"	ALUM	
28	A	3'-0"	1'-0"	P4"	ALUM	



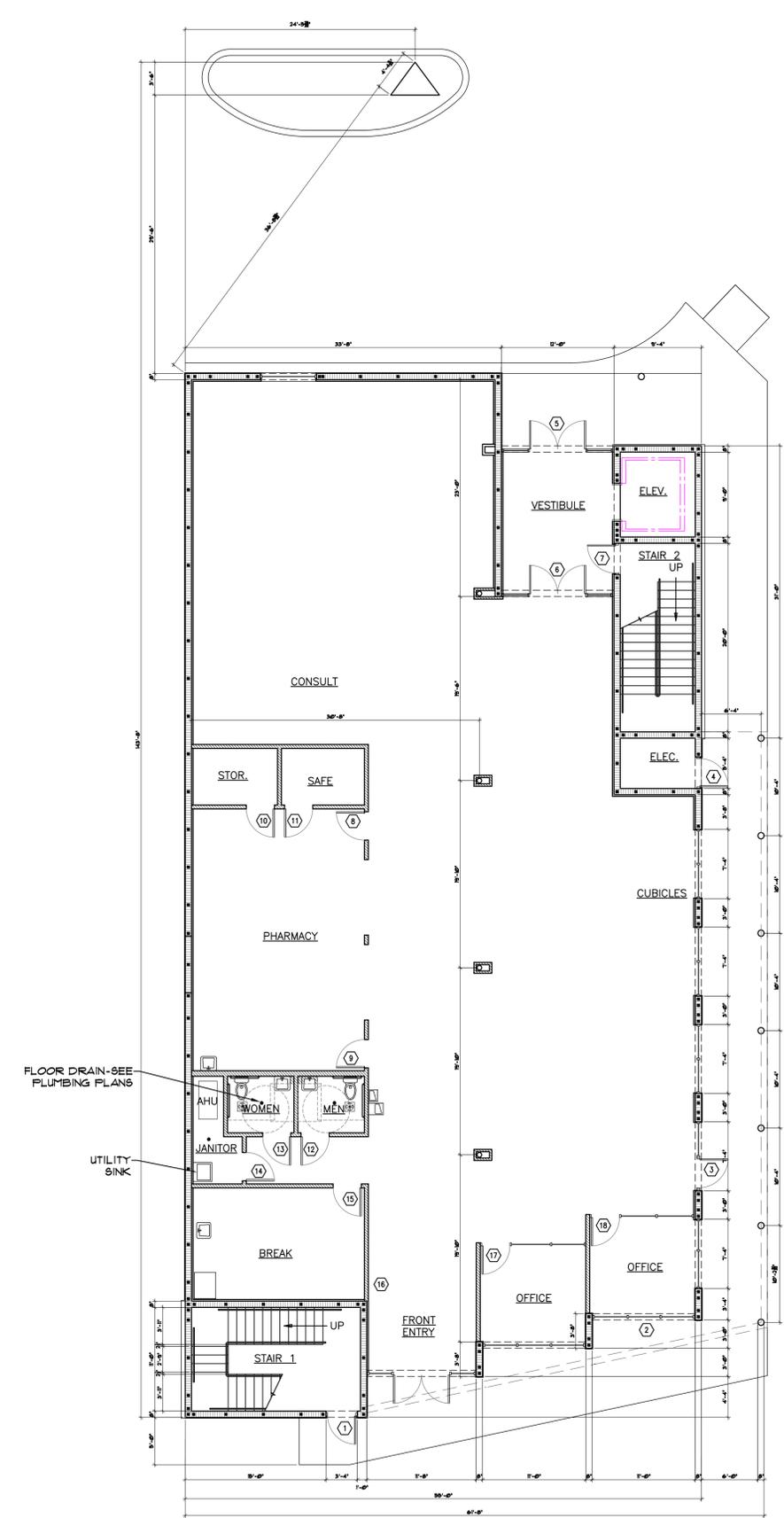
FINISH SCHEDULE

DESCRIPTION	FLOOR	BASE	WALLS	CLG	HT.	NOTES					
							VCT	QUARRY TILE	CERAMIC TILE	TROWELED CONCRETE	NONE
VESTIBULE					13'-4"	FINISH ON INTERIOR WALLS & CLG SHALL BE MINIMUM CLASS "C" PROVIDE PLYWOOD BACKING FOR ALL WALL MTD FIXTURES					
STAIR					13'-4"						
MECH. ROOM					13'-4"						
RETAIL/CONSULT					13'-4"						
STOR./SAFE					8'-0"						
PHARMACY					13'-4"						
OFFICES					13'-4"						
RESTROOMS					8'-0"						
JANITOR					8'-0"						
BREAK					8'-0"						
2nd FLOOR											
VESTIBULE					10'-0"						
RESTROOMS					8'-0"						
OFFICES					10'-0"						
CORRIDOR					8'-0"						

LEGEND



NOTE: ALL INTERIOR PARTITIONS SHALL INCLUDE SOUND ATTENUATION INSULATION.



1 FIRST FLOOR PLAN
SCALE: 1/8"=1'-0"



REVISION

JOB NO. 19009

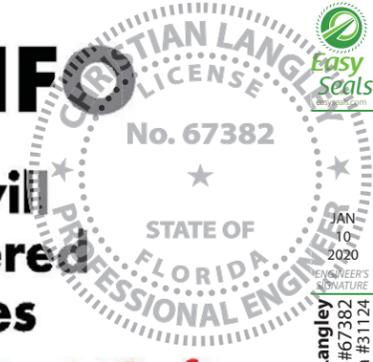
DATE 10/17/19

SHEET

A2.1

GENERAL SIGN INFO

Front Lit Channel letters. That will be made using Aluminum, covered by premium quality acrylic faces and lighted by LED. **18" Letters 95.88Sqft**



Christian Langley
Florida PE #67382
Cert of Auth #1124

1200 N Federal Hwy #200
Boca Raton, FL 33432
1-888-371-3113

Wall components & cladding:
• Zone 4: ± 27.6 psf
• Zone 5: ± 35.2 psf

• Sign Height = 30 ft max
• Kzt = 1.0, Kd = 0.85, G = 0.85

• Risk Category 2 Structure
• ASD Load Coeff = 0.6

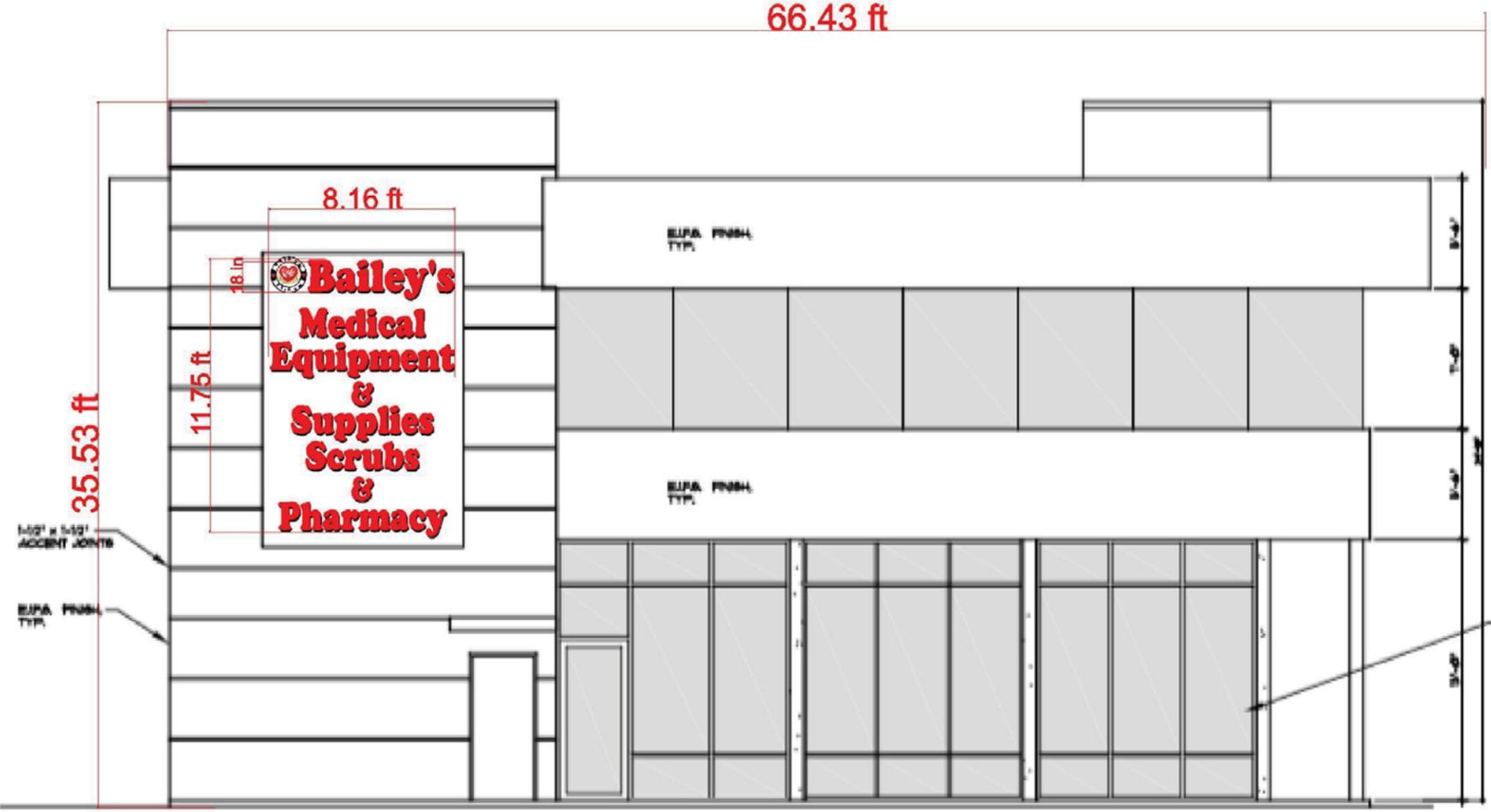
• V = 140 mph
• Exposure 'C'

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ASCE 7-10
WIND LOADS:

ASCE 7-10
WIND LOADS:

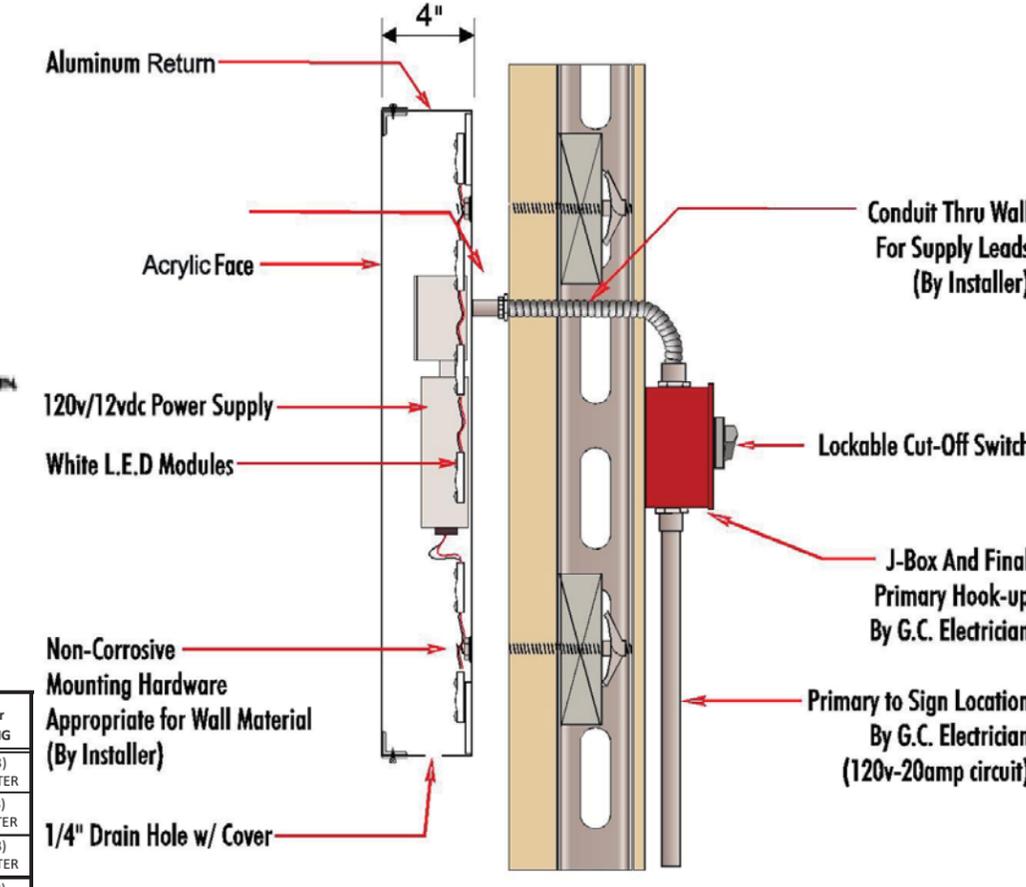
ASCE 7-10
WIND LOADS:



1 EAST ELEVATION
SCALE: 1/8" = 1'-0"

18" High Letters 95.8 Sqft

Rendering of sign as seen at night.



ANCHOR SCHEDULE **ALL FASTENERS SHALL BE SPACED EVENLY**

WALL MATERIAL	ANCHOR TYPE	QTY or SPACING
CONCRETE (3ksi) or HOLLOW MASONRY	1/4" THREADED RODS WITH MIN 2" EMBED IN ADHESIVE	MIN (3) PER LETTER
	1/4" TAPCONS (OR EQUIV) WITH 1.75" EMBED	MIN (3) PER LETTER
	1/4" EXPANSION ANCHORS WITH 2.5" EMBED	MIN (3) PER LETTER
1/2" PLYWOOD (NO ACCESS BEHIND)	1/4" TOGGLE BOLTS	MIN (3) PER LETTER
	1/4" WOOD SCREWS, FULL EMBED	MIN (3) PER LETTER
METAL STUDS OR METAL PANELS	#14 METAL SCREWS TO MIN 18ga STEEL OR 0.090" ALUM	MIN (3) PER LETTER
HOLLOW WALL (BLOCKING BEHIND)	1/4" THRU BOLTS OR LAGS TO SOLID BLOCKING BEHIND	MIN (3) PER LETTER

Section Detail | Front lit Channel Letters
Low Voltage L.E.D. Lighting System | U.L. Listed Class 2 - Conforms To U.L. 48 & NEC 600 Code

14122 Sw 53rd St Miramar Fl, 33027
305-333-5656

Revisions:

Colors Depicted In This Rendering May Not Match Actual Finished Materials. Refer To Product Samples For Exact Color Match.

Client Approval/Date: _____

Landlord Approval/Date: _____

Account Rep: _____

Project Manager: **Ernest Francis**

Drawn By: **Jason James**

ELECTRICAL TO USE U.L. LISTED COMPONENTS AND SHALL MEET ALL N.E.C. STANDARDS

ALL ELECTRICAL SIGNS ARE TO COMPLY WITH U.L. 48 AND ARTICLE 400 OF THE N.E.C. STANDARDS, INCLUDING THE PROPER GROUNDING AND BONDING OF ALL SIGNS.

Project / Location:

Bailey's Medical EQUIPMENT & SUPPLIES

5156 S. Orange Ave
Orlando Fl, 32806

Job Number: _____

Date: **January 8th 2020**

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General Notes: • Design in accordance with the requirements of the Fla Bldg Code 6th Ed (2017) for use within & outside the High Velocity Hurricane Zone (HVHZ). • This engineering certifies only the structural integrity of those systems, components, and/or other construction explicitly specified herein. • Electrical notes, details, & specifications are provided by and are the sole responsibility of the electrical contractor. No electrical review has been performed and no certification of such is intended. • Structural design meets requirements of ACI 318-14, AISI 360-10, ADM1-15, & NDS-15, as applicable. • Steel components shall be coated, painted, or otherwise protected against corrosion per FBC Sec 2203.2/2222.6. • Alum components in contact with steel or embedded in concrete shall be painted or protected as prescribed in ADM1-15(1a), or plastic/neoprene spacers provided. • All exposed fasteners shall be S.S. or have a protective coating for corrosion protection. • All welding shall comply with AWS requirements. • Steel welds: E70xx electrodes. • Aluminum welds: 4043 filler alloy. • Alum extrusions: 6063-T6 or stronger, U.L. listed.